

0mm

100mm

200mm

300mm

100mm

200mm

300mm



Proposed indicative artist impression of housing streetscape. All landscape features are indicative only. Refer to landscape consultants documentation package for landscape design & plant species selection.

RIVERLANDS SITE 3C

000	COVER SHEET
001	LOCALITY & SITE ANALYSIS PLAN
100	SUBDIVISION PLAN
101	SITING PLAN
110	EROSION & SEDIMENT CONTROL PLAN
120	HYDRAULIC CONCEPT PLAN
210	GROUND FLOOR PLAN
220	FIRST FLOOR PLAN
250	ROOF / FIRE RATED EAVES PLAN
260	STREETSCAPE
270	SECTIONS
290	NOTIFICATION PLANS
400	SHADOW PLAN 21 JUNE - 9AM/12NOON/3PM
401	FSR AREA PLAN
410	PRIVATE OPEN SPACE AND PERMEABLE AREA PLAN
720	BASIX REQUIREMENTS
800	TYPICAL DETAILS



1 LOCALITY PLAN
Scale 1 : 5000

05.12.2023	G	ISSUE FOR DEVELOPMENT APPLICATION
16.11.2023	F	ISSUE FOR CONSULTANT
10.11.2023	E	ISSUE FOR CONSULTANT
09.11.2023	D	DRAFT ISSUE FOR FINAL REVIEW
03.01.2023	C	ISSUE FOR INFO
30.10.2023	B	ISSUE FOR INFO
13.10.2023	A	ISSUE FOR INFO
date	rev	amendment

MIRVAC DESIGN
ARCHITECTS
Landscape Architecture
Urban Design
Planning
Engineering

Level 18, 100 George St
Sydney NSW 2000
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Mirvac Design Pty Ltd
ABN 78 001 129 113
Mirvac Design Nominees / Responsible Architects:
Asha Verma, Michael Weller, David Hogg, Paramany Selendhi, Andrew La, Nicolas Theodorou
https://www.mirvacdesign.com/nominees_and_architects



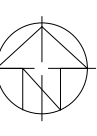
project:
RIVERLANDS - MILPERRA
56 Prescot Parade, Milperra NSW 2214
stage: 01
site: 3C

title:
COVER SHEET

job no: MB-10245
drawing no: 000

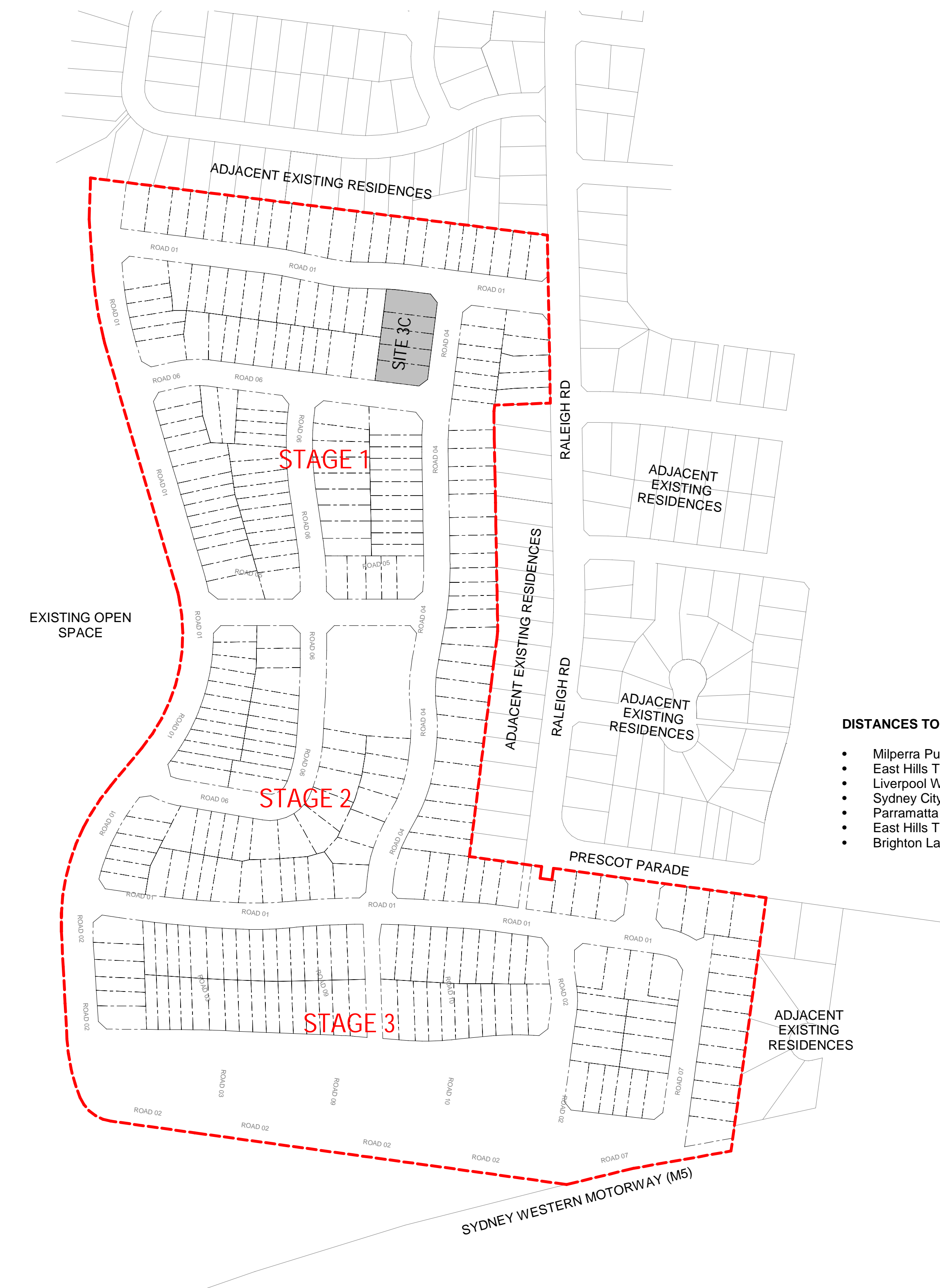
date: 05.12.2023

scale @ A1: 1 : 5000



rev: G

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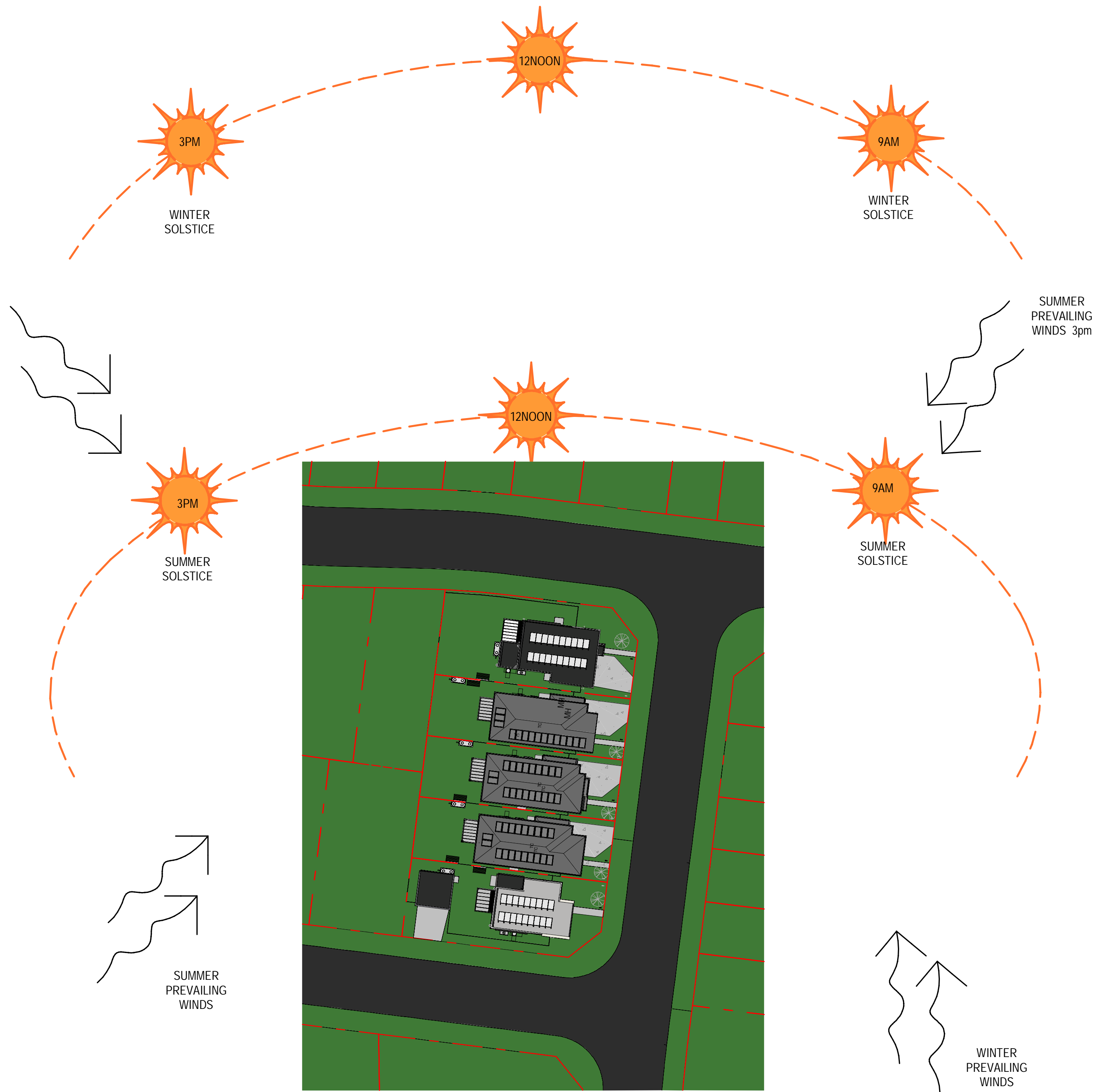


2 LOCALITY PLAN
Scale 1: 2000

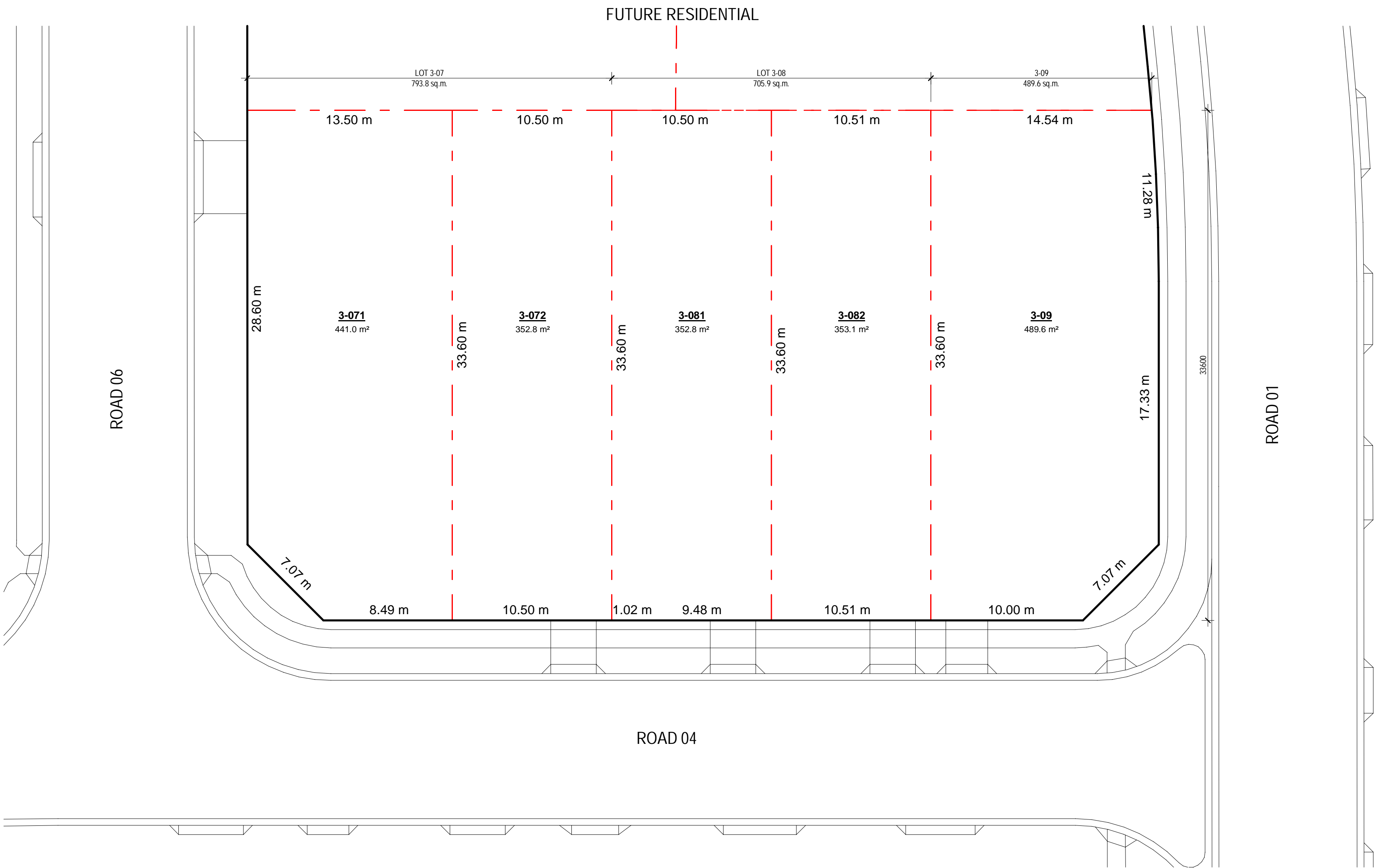
DISTANCES TO NEARBY LANDMARKS

- Milperra Public School
 - East Hills Technology Highschool
 - Liverpool Westfields
 - Sydney City CBD
 - Parramatta City CBD
 - East Hills Train Station
 - Brighton Lakes Golf Club
- Approx 10 min walk
 - Approx 9 min drive
 - Approx 20 min drive
 - Approx 30 mins drive
 - Approx 30 min drive
 - Approx 7 min drive
 - Approx 10 min drive

amendment



3 SITE ANALYSIS
Scale 1: 500



NOTE: VEHICLE CROSSINGS SHOWN ARE INDICATIVE ONLY. PLEASE REFER TO CIVIL ENGINEERING DRAWINGS FOR DETAILED LOCATIONS AND DIMENSIONS

REFER TO CIVIL ENGINEERING SET
ADDITIONAL INFORMATION ON
BOUNDARIES AND LOT LAYOUT

1 DA/TP_SUBDIVISION PLAN
Scale 1 : 200

05.12.2023	G	ISSUE FOR DEVELOPMENT APPLICATION
16.11.2023	F	ISSUE FOR CONSULTANT
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13.10.2023	A	ISSUE FOR INFO
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MIRVAC DESIGN (Level 38, 208 George St Sydney NSW 2000) Tel: 02 9446 8800
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http://www.mirvacdesign.com/nominees_and_architects

Mirvac Design Pty Ltd (ABN 76 001 129 113)
Mirvac Design Pty Ltd
Level 38, 208 George St Sydney NSW 2000



project: **RIVERLANDS - MILPERRA**
56 Prescot Parade, Milperra NSW 2214
stage: 01
site: 3C

title: **SUBDIVISION PLAN**

job no: MB-10245
drawing no: 100

date: 05.12.2023 scale @ A1: 1 : 200



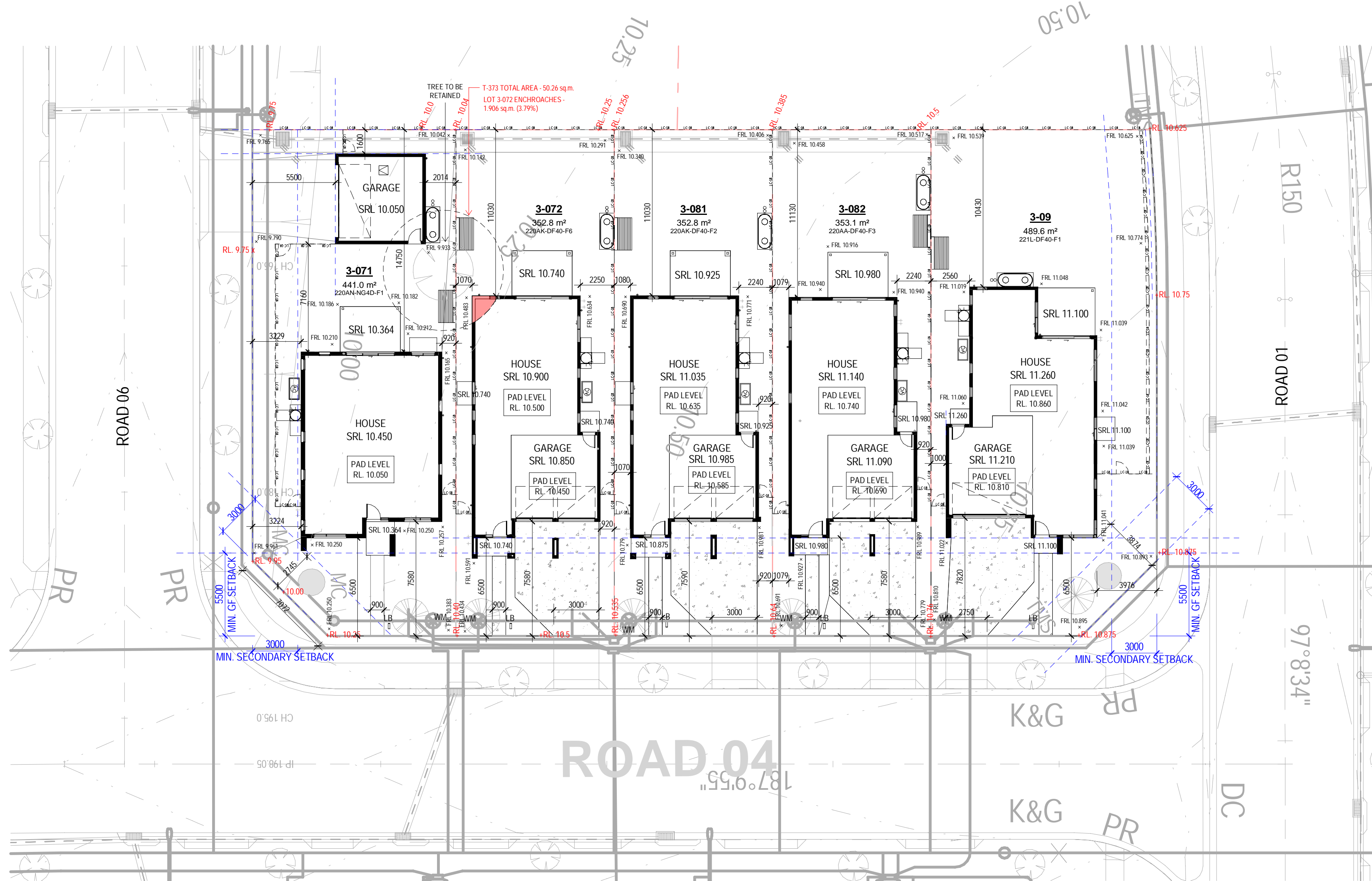
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SITE 03C FSR			
0_Lot No	Gross floor area	Actual Lot Area	FSR

3-09	189.8 m ²	489.6 m ²	38.76%
3-071	184.7 m ²	441.0 m ²	41.88%
3-072	173.6 m ²	352.8 m ²	49.20%
3-081	173.6 m ²	352.8 m ²	49.20%
3-082	174.2 m ²	353.1 m ²	49.33%
Total	895.8 m ²	1989.3 m ²	45.67 %

Site 03A MODEL TYPES	
Lot No.	House Type
3-09	221L-DF40-F1
3-071	220AN-NG4D-F1
3-072	220AK-DF40-F6
3-081	220AK-DF40-F2
3-082	220AA-DF40-F3



NOTE : VEHICLE CROSSING SHOWN ARE INDICATIVE ONLY. PLEASE REFER TO CIVIL ENGINEERING DRAWINGS FOR DETAILED LOCATION AND DIMENSIONS

1 DA_SITE PLAN
Scale 1:200

[illegible]

NOTE:

- EASEMENT TO DRAIN WATER 1.5m WIDE
- EASEMENT TO DRAIN WATER / EASEMENT FOR SERVICES AND RIGHT OF ACCESS
- EASEMENT FOR MAINTENANCE & OVERHANG 1.0m WIDE
- DOWNPIPPES CONNECTED TO COUNCIL STORMWATER SYSTEM
- IN RESPECT TO PROPOSED RETAINING WALLS CONFINE THE EXTENT OF CUT OR FILL 500mm BEYOND TOE OF WALL ON HIGH SIDE AND BATTER AT A GRADE OF 10% TO PAVEMENT LEVEL.

NATURE STRIP CONCEPT DIAGRAM:

The diagram illustrates a cross-section of a nature strip. From left to right, it shows: a road, a kerb, a 4% slope, a boundary, a 2% slope, a 20% MAX batter, a 10% slope, a 20% MIN batter, and a 10% slope leading to a retaining wall. The area between the kerb and the retaining wall is labeled 'VARIES'.






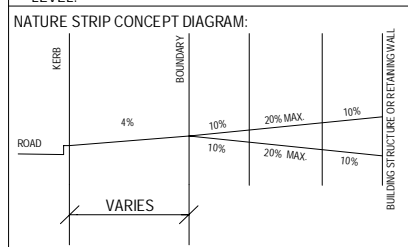
1 BENC
Scale 1 : 200

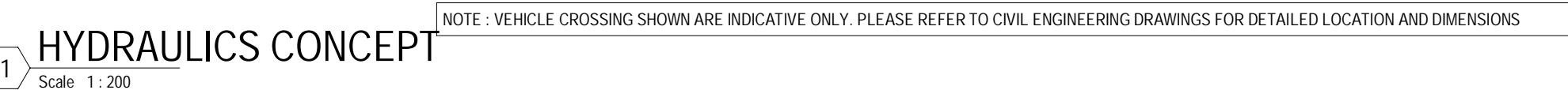
amendment.

[illegible]

NOTE:

-  EASEMENT TO DRAIN WATER 1.5m WIDE
-  EASEMENT TO DRAIN WATER: EASEMENT FOR SERVICES AND RIGHT OF ACCESS
-  EASEMENT FOR MAINTENANCE & OVERHANG 1.0m WIDE
- o DOWNPIPES CONNECTED TO COUNCIL STORMWATER SYSTEM
- IN RESPECT TO PROPOSED RETAINING WALLS CONFINE





Scale 1 : 200

NOTE : VEHICLE CROSSING SHOWN ARE INDICATIVE ONLY. PLEASE REFER TO CIVIL ENGINEERING DRAWINGS FOR DETAILED LOCATION AND DIMENSIONS

amendment

56 Prescot Parade, Milperra NSW 2214

drawing no. 120

scale @ A1: 1 : 200

rev: G

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0mm 100mm 200mm 300mm

100mm

200mm

300mm

SCHEDULE - WINDOWS 3-071					
MVC_Lot Number	Mark	Type	Height	Width	Description
3-071	01	SA2022T SPECIAL	2035	2170	2035H x 2170W SA2008T WITHIN
3-071	02	SA2018T SPECIAL	2035	1810	2035H x 1810W SA2007T WITHIN
3-071	03	SA2007T	2035	730	
3-071	04	SA1007	1030	730	
3-071	05	SKD2416	2400	1570	
3-071	06	SSD2432	2400	3219	
3-071	07	SA2007T	2035	730	
3-071	08	SA2007T	2035	730	
3-071	09	SA2007T	2035	730	
3-071	10	SA2007T	2035	730	
3-071	11	SA2007T	2035	730	
3-071	12	SA2007T	2035	730	
3-071	13	SKD2127	2100	2712	
3-071	14	SA1318 SPECIAL	1370	1810	1370H x 1810W SA1307 WITHIN
3-071	15	SA1307	1370	730	
3-071	16	SF1308	1370	850	FIXED WINDOW
3-071	17	SA1014	1030	1450	
3-071	18	SA1014	1030	1450	
3-071	19	SA1307	1370	730	
3-071	20	SA1318 SPECIAL	1370	1810	1370H x 1810W SA1307 WITHIN
3-071	21	SA1318 SPECIAL	1370	1810	1370H x 1810W SA1307 WITHIN
3-071	22	SA1307	1370	730	
3-071	23	SA1007	1030	730	

SCHEDULE - DOORS 3-71				
MVC_Lot Number	No.	Height	Leaf Width	O/A Frame Width
3-071	01	2400	920	1500
3-071	02	2140	820	900

SCHEDULE - WINDOWS 3-072					
MVC_Lot Number	Mark	Type	Height	Width	Description
3-072	01	SA2007T 3	2035	730	
3-072	02	SA2007T 3	2035	730	
3-072	03	SS2018T	2035	1810	
3-072	04	SSD2436	2400	3579	
3-072	05	SA2007T	2035	730	
3-072	06	SKD2116	2100	1570	
3-072	07	SA2007T 3	2035	730	
3-072	08	SA1007	1030	730	OBSOLETE
3-072	09	SF1007	1030	730	FIXED
3-072	10	SA1007	1030	730	
3-072	11	SKD2122	2100	2170	
3-072	12	SF1304 'Special'	1370	470	1370H x 470W FIXED
3-072	13	SA1307	1370	730	OBSOLETE
3-072	14	SA0618	600	1810	
3-072	15	SS1014	1030	1450	OBSOLETE
3-072	16	SS1318	1370	1810	
3-072	17	SS1318	1370	1810	
3-072	18	SA1006	1030	610	OBSOLETE
3-072	19	SS0627	600	2650	
3-072	20	SF1007	1030	730	FIXED

SCHEDULE - DOORS 3-72				
MVC_Lot Number	No.	Height	Leaf Width	O/A Frame Width
3-072	01	2400	920	1500
3-072	02	2140	820	900

SCHEDULE - WINDOWS 3-081					
MVC_Lot Number	Mark	Type	Height	Width	Description
3-081	01	SA2007T 4	2035	730	
3-081	02	SA2007T 4	2035	730	
3-081	03	SS2018T	2035	1810	
3-081	04	SSD2436	2400	3579	
3-081	05	SA2007T	2035	730	
3-081	06	SKD2116	2100	1570	
3-081	07	SA2007T 4	2035	730	
3-081	08	SA1007	1030	730	OBSOLETE
3-081	09	SF1007	1030	730	FIXED
3-081	10	SA1007	1030	730	
3-081	11	SKD2122	2100	2170	
3-081	12	SF1304 'Special'	1370	470	1370H x 470W FIXED
3-081	13	SA1307	1370	730	OBSOLETE
3-081	14	SA0618	600	1810	
3-081	15	SA1014	1030	1450	OBSOLETE
3-081	16	SA1318	1370	1810	
3-081	17	SA1318	1370	1810	
3-081	18	SA1006	1030	610	OBSOLETE
3-081	19	SA0626	600	2650	
3-081	20	SF1007	1030	730	FIXED

SCHEDULE - DOORS 3-81				
MVC_Lot Number	No.	Height	Leaf Width	O/A Frame Width
3-081	01	2400	920	1500
3-081	02	2140	820	900

SCHEDULE - WINDOWS 3-082					
MVC_Lot Number	Mark	Type	Height	Width	Description
3-082	01	SKD2116	2100	1570	
3-082	02	SA2008T	2035	850	
3-082	03	SA2008T	2035	850	
3-082	04	SSD2436	2400	3580	
3-082	05	SA2008T	2035	850	
3-082	06	SA2018T	2035	1810	
3-082	07	SKD2421	2400	2110	
3-082	08	SA2007T 5	2035	730	
3-082	09	SKD2127	2100	2740	
3-082	10	SF1304 'Special'	1370	490	FIXED
3-082	11	SA1307	1370	730	OBSOLETE
3-082	12	SA1014	1030	1450	OBSOLETE
3-082	13	SA1318	1370	1810	
3-082	14	SA1318	1370	1810	
3-082	15	SA1318	1370	1810	
3-082	16	SA1022	1030	2170	
3-082	17	SA1307	1370	730	OBSOLETE

SCHEDULE - DOORS 3-82				
MVC_Lot Number	No.	Height	Leaf Width	O/A Frame Width
3-082	01	2400	920	1500
3-082	02	2140	820	900

SCHEDULE - WINDOWS 3-09					
MVC_Lot Number	Mark	Type	Height	Width	Description
3-09	01	SAF 2020 'Special'	2035	2080	2035H X 2080W SA2007T WITHIN
3-09	02	SF2010 'Special'	2035	1020	2035H x 1020W FIXED
3-09	03	SA2007T	2035	730	
3-09	04	SKD2416	2400	1570	
3-09	05	SA2022T	2035	2170	
3-09	06	SSD2432	2400	3219	
3-09	07	SKD2421	2400	2110	
3-09	08	SA2007T	2035	730	
3-09	09	SA2007T	2035	730	
3-09	10	SA2007T	2035	730	
3-09	11	SA2007T	2035	730	
3-09	12	SA2007T	2035	730	
3-09	13	SKD2127	2100	2712	
3-09	14	SF1211 'Special'	1200	1120	1200H x 1120W FIXED
3-09	15	SAF1229 'Special'	1200	2940	1200H X 2940W. 1070W AWNING WITHIN
3-09	16	SA1807T	1800	730	
3-09	17	SF0618	600	1810	FIXED
3-09	18	SF2008	2035	850	FIXED
3-09	19	SAF1322 SPECIAL	1370	2170	1370H X 2170W SA1307 WITHIN
3-09	20	SAF1322 SPECIAL	1370	2170	1370H X 2170W SA1307 WITHIN
3-09	21	SA1307 3	1370	730	
3-09	22	SS1318	1370	1810	
3-09	23	SS1014	1030	1450	OBSOLETE
3-09	24	SA1006 3	1030	610	OBSOLETE

SCHEDULE - DOORS 3-09				
MVC_Lot Number	No.	Height	Leaf Width	O/A Frame Width
3-09	1	2400	920	1500
3-09	2	2140	820	900

FLOOR PLAN LEGEND

720	DOOR SIZE LABEL - REFER PLAN FOR SIZES
720L	DOOR SIZE LABEL - DOOR WITH LIFT OFF HINGES
730P	200mm ENGAGED BRICK PIERS @ 1000 CENTRES MAX.
BAL	BALUSTRADE
BP	BULKHEAD OVER
BS	STRUCTURAL BEAM TO ENGINEER'S DETAIL
CB	CUT BRICK SIZE
CSO	CAVITY SLURRY DOOR
DP	DOWN PIPE
DPS	DOWN PIPE & SPREADER
FJ	ASSIGNED FLOOR JOIST DIRECTION
FSW	FACE BRICK WORK
FSW	FACE STONE WALL
HO	HEAD OF OPENING - HEIGHT AS NOTED
HLR	HANDRAIL - 1000mm HIGH MIN.
LWO	LINE OF WALL OVER
LWC	LIGHTWEIGHT CLADDING BOARDS
MM	CEILING MANHOLE
MR	METAL ROOF - PITCH AS NOTED
PS	PERGOLA TOTAL
PMP	PAINTED MASONRY PRODUCT
RPMP	RECESSED PAINTED MASONRY PRODUCT
SK	SKYLIGHT
SN	SHOWER NICHE
[S]	SMOKE ALARM
SD	STEPODOWN
SP	STRUCTURAL POST TO ENGINEER'S DETAIL
TP	TIMBER POST - SIZE AS NOTED
TR	TILED ROOF - PITCH AS NOTED
VJ	VERTICAL JOINT
→ HCR	HOSE COCK RECYCLE
→ HCR	HOSE COCK
WATER	
MANHOLE POSITIONS TO BE DETERMINED BY SITE MANAGER	
ALL DOWNPIPES NEAR BUILDING CORNERS ARE TO BE INSTALLED @ 300mm TO THE DOWNPIPE CENTRE WHERE POSSIBLE - UNLESS NOTED OTHERWISE	
ANY DOWNPIPE WITHIN 450mm FROM A BOUNDARY MUST BE OF A NON-COMBUSTIBLE MATERIAL	
SERVICES ABBREVIATIONS	
MECH	MECH
AC	AIRCON CONDENSER
ACD	AIRCON DUCT
ACE	AIRCON EVAPORATOR
GM	GAS METER
ELC	ELC
HWU	INSTANTANEOUS GAS HOT WATER UNIT
MR	ELECTRICAL METER BOX
WTC	WATER TANK CONTROL BOX
C	CLOAK CUPBOARD
L	LINEN
ST	SERVICE STACK
WM	WATER METER
CT	COOKTOP
OW	DISH WASHER
DS	DRYER SPACE
FSC	FREE STANDING COOKER
MW	MICROWAVE SPACE
P	PANTRY
R	REFRIGERATOR SPACE
RH	RANGEHOOD
UBO	UNDER BENCH OVEN
WO	WALL OVEN
WMS	WASHING MACHINE SPACE
PCD	PREMISES CONNECTION DEVICE
NBN	NATIONAL BROADBAND NETWORK
FABRICATOR NOTE:	
ALL FLOOR JOISTS TO BE KEPT CLEAR OF AC DROPPER DUCTING. TRUSS DESIGN TO ALLOW FOR INSTALLATION OF AC UNIT	
BALUSTRADE NOTES:	
INTERNAL STAIRS:	
BALUSTRADE HANDRAIL TO BE CONTINUOUS ON FLIGHT IN ACCORDANCE WITH BCA REQUIREMENT.	
EXTERNAL BALUSTRADES:	
ALL HANDRAILES & BALUSTRADES TO BE INSTALLED AT HEIGHTS IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS	
WINDOW NOTE:	
WINDOW FRAMES, GLAZING & ASSOCIATED MATERIAL SHOULD BE TO MANUFACTURERS SPECIFICATIONS. MANUFACTURER TO CERTIFY DESIGN COMPLIANCE WITH NCC & APPLICABLE AUSTRALIAN STANDARDS. REFER TO EXTERNAL FINISHES SCHEDULE FOR COLOUR SELECTION. OPENING RESTRICTORS FITTED. THESE RESTRICTORS SHALL LIMIT THE OPENING TO 125MM MAX.	
ALL DOORS AND WINDOWS TO COMPLY WITH AS 3959 - 2018 - CONSTRUCTION STANDARDS FOR BUILDINGS IN BUSHFIRE PRONE AREAS.	

Site 3C - GFA schedule for FSR calc.

Lot No.	Name	Area*
3-09	Ground Floor	86.8 m²
3-09	First Floor	103.0 m²
		189.8 m²

3-071	Ground Floor	99.4 m²
3-071	First Floor	85.3 m²
		184.7 m²

3-072	Ground Floor	76.3 m²
3-072	First Floor	97.3 m²
		173.6 m²

3-081	Ground Floor	76.3 m²
3-081	First Floor	97.3 m²
		173.6 m²

3-082	Ground Floor	75.6 m²
3-082	First Floor	98.6 m²
		174.2 m²

Grand total 895.8 m²

TOTAL GROSS BUILDING AREAS

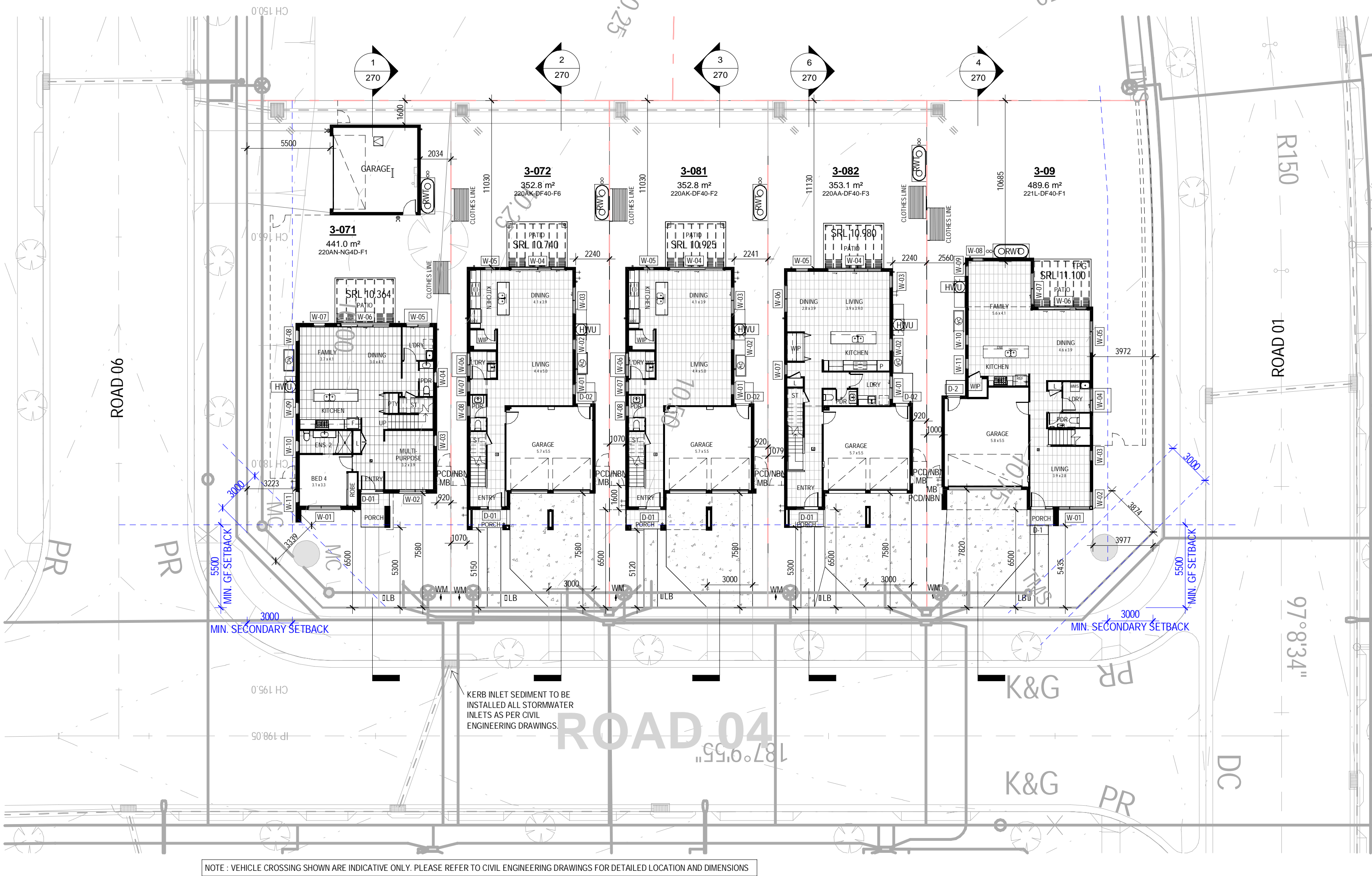
Lot No.	Name	Area
3-09	First Floor	117.3 m²
3-09	Ground Floor	95.7 m²
3-09	Garage	37.5 m²
3-09	Patio	12.0 m²
3-09	Balcony	7.5 m²
3-09	Porch	1.9 m²
		271.8 m²

3-071	Ground Floor	110.0 m²
3-071	First Floor	98.7 m²
3-071	Garage	35.9 m²
3-071	Patio	12.0 m²
3-071	Balcony	9.5 m²
3-071	Porch	4.3 m²
		270.4 m²

3-072	First Floor	113.5 m²
3-072	Ground Floor	84.5 m²
3-072	Garage	34.2 m²
3-072	Patio	12.0 m²
3-072	Balcony	4.5 m²
3-072	Porch	3.3 m²
3-072	First Floor	0.5 m²
		252.6 m²

3-081	First Floor	112.8 m²
3-081	Ground Floor	84.3 m²
3-081	Garage	34.3 m²
3-081	Patio	12.0 m²
3-081	Balcony	4.3 m²
3-081	Porch	3.4 m²
		251.1 m²

3-082	First Floor	111.2 m²
3-082	Ground Floor	83.6 m²
3-082	Garage	34.3 m²
3-082	Patio	12.0 m²
3-082	Balcony	6.9 m²
3-082	Porch	2.9 m²
		250.9 m²



NOTE : VEHICLE CROSSING SHOWN ARE INDICATIVE ONLY PLEASE REFER TO CIVIL ENGINEERING DRAWINGS FOR DETAILED LOCATION AND DIMENSIONS

GROUND FLOOR

Scale: 1:200

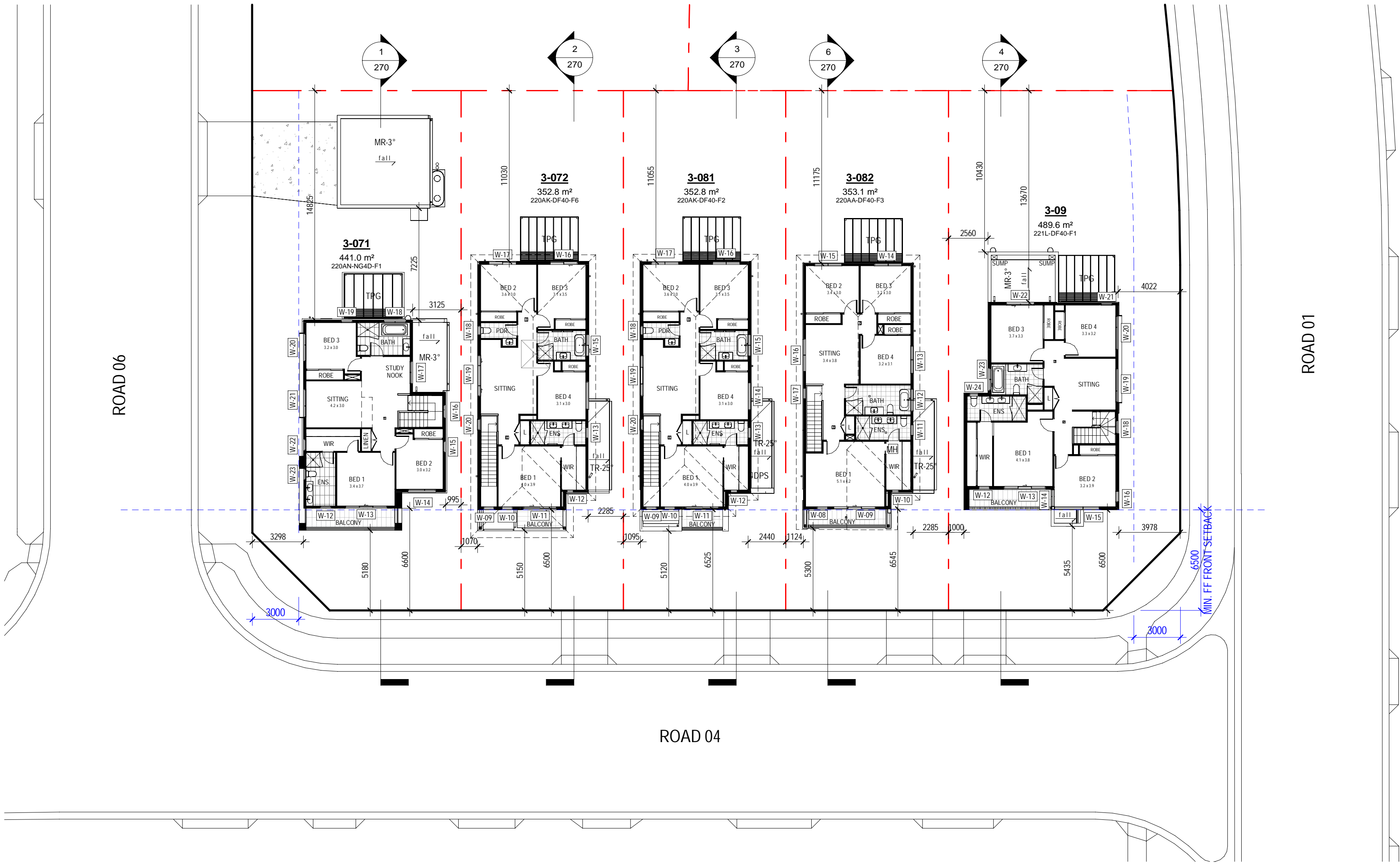
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0mm 100mm 200mm 300mm

100mm

200mm

300mm



1 FIRST FLOOR
Scale 1:200

FLOOR PLAN LEGEND	
720	DOOR SIZE LABEL - REFER PLAN FOR SIZES
720L	DOOR SIZE LABEL - DOOR WITH LIFT OFF HINGES
720P	200mm ENGAGED BRICK PIERS @ 1500 CENTRES MAX
BAL	BALUSTRADE
BH	BULKHEAD OVER
BO	STRUCTURAL BEAM TO ENGINEER'S DETAIL
CB	CUT BRICK SIZE
CSO	CAVITY SLURR DOOR
DP	DOWN PIPE
DPS	DOWN PIPE & SPREADER
FJ	ASSIGNED FLOOR JOIST DIRECTION
FBW	FACE BRICK WORK
FSW	FEATURE STONE WALL
HH	HEAD OF OPENING - HEIGHT AS NOTED
HL	HANDRAIL - 1000mm HIGH MIN.
LWO	LINE OF WALL OVER
LWC	LIGHTWEIGHT CLADDING BOARDS
ML	CEILING MANHOLE
MR	METAL ROOF - PITCH AS NOTED
PG	PERGOLA TO DETAIL
PMP	PAINTED MASONRY PRODUCT
RPMP	RECESSED PAINTED MASONRY PRODUCT
SL	SKYLIGHT
SN	SHOWER NICHE
SA	SMOKE ALARM
SD	STEPODOWN
SP	STRUCTURAL POST TO ENGINEER'S DETAIL
TP	TIMBER POST - SIZE AS NOTED
TR	TILED ROOF - PITCH AS NOTED
VJ	VERTICAL JOINT
HC	HOSE COCK RECYCLE
HC	HOSE COCK
NOTES	
MANHOLE POSITIONS TO BE DETERMINED BY SITE	
• ALL DOWNPIPES NEAR BUILDING CORNERS ARE TO BE INSTALLED @ 3000mm TO THE DOWNPIPE CENTRE WHERE POSSIBLE - UNLESS NOTED OTHERWISE	
• ANY DOWNPIPE WITHIN 450mm FROM A BOUNDARY MUST BE OF A NON-COMBUSTIBLE MATERIAL	
SERVICES ABBREVIATIONS	
MECH	A/C - AIRCON CONDENSER
	ACD - AIRCON DUCT
	A/E - AIRCON EVAPORATOR
	GM - GAS METER
ELC	IMHU - INSTANTANEOUS GAS HOT WATER UNIT
	MR - ELECTRICAL METER BOX
	WTC - WATER TANK CONTROL BOX
	C - CLOAK CUPBOARD
MSC	L - LINEN
	ST - SERVICE STACK
	WM - WATER METER
	CT - COOKTOP
	OW - DISH WASHER
	DS - DRYER SPACE
	FSC - FREE STANDING COOKER
	P - PANTRY
	R - REFRIGERATOR SPACE
	RH - RANGEHOOD
	UBO - UNDER BENCH OVEN
	W/O - WALL OVEN
	WMS - WASHING MACHINE SPACE
	PCD - PREMISES CONNECTION DEVICE
	NBN - NATIONAL BROADBAND NETWORK
FRAMER NOTE:	
ALL FLOOR JOISTS TO BE KEPT CLEAR OF AC DROPPER DUCTING. TRUSS DESIGN TO ALLOW FOR INSTALLATION OF AC UNIT	
BALUSTRADE NOTES:	
INTERNAL STAIRS:	
BALUSTRADE HANDRAIL TO BE CONTINUOUS ON FLIGHT IN ACCORDANCE WITH BCA REQUIREMENT.	
EXTERNAL BALUSTRADES:	
ALL HANDRAILS & BALUSTRADES TO BE INSTALLED AT HEIGHTS IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS	
WINDOW NOTE:	
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ALL DOORS AND WINDOWS TO COMPLY WITH AS 3959 - 2018 - CONSTRUCTION STANDARDS FOR BUILDINGS IN BUSHFIRE PRONE AREAS.	

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date	rev	amendment

MIRVAC DESIGN

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Project Managers

Mirvac Design Pty Ltd
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Mirvac Design Nominees / Responsible Architects:
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<https://www.mirvacdesign.com/consultant-architects>



project:
RIVERLANDS - MILPERRA
56 Prescot Parade, Milperra NSW 2214
stage: 01
site: 3C

title:
FIRST FLOOR PLAN

job no: MB-10245
drawing no: 220

date: 05.12.2023

scale @ A1: 1:200

rev: G



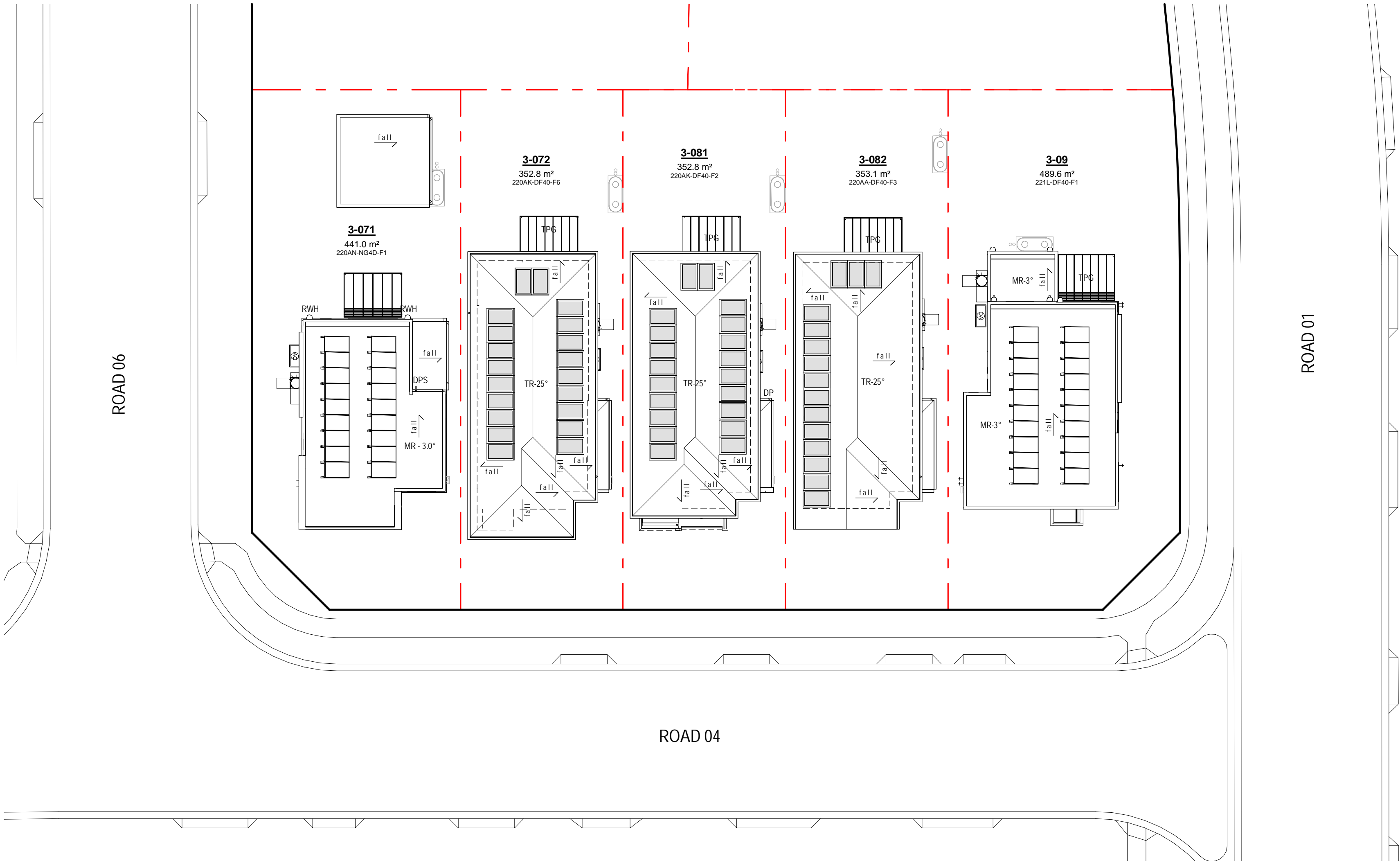
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0mm | 100mm | 200mm | 300mm

100mm

200mm

300mm



1 ROOF PLAN
Scale 1 : 200

LEGEND - ROOF PLAN	
	RAISED SOFFIT
	FIRE RATED EAVE
ABBREVIATIONS	
DP	DOWN PIPE
DPS	DOWN PIPE & SPREADER
DP-100	DOWN PIPE 100mm DIAMETER
MR	METAL ROOF - PITCH AS NOTED
TR	TILED ROOF - PITCH AS NOTED
PG	PERGOLA
SHWP	SOLAR HOT WATER PANEL
RWH	RAIN WATER HEAD
SL	SKY LIGHT
SP	SOLAR PANELS
EXHR	ROOF VENTILATION SYSTEM
#	PURCHASER OPTION
● ALL DOWNPIPES NEAR BUILDING CORNERS ARE TO BE INSTALLED @ 300mm TO THE DOWNPPIPE CENTRE WHERE POSSIBLE - UNLESS NOTED OTHERWISE	
● ANY DOWNPPIPE WITHIN 450mm FROM A BOUNDARY MUST BE OF A NON-COMBUSTIBLE MATERIAL	

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project:
RIVERLANDS - MILPERRA
56 Prescot Parade, Milperra NSW 2214
stage: 01
site: 3C

title:
ROOF / FIRE RATED EAVES PLAN

job no: MB-10245
drawing no: 250

date: 05.12.2023 scale @ A1: 1 : 200



rev: G

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0mm

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300mm

100mm

200mm

300mm



2 DA/TP_STREETSCAPE SIDE A
Scale 1:100



1 DA/TP_STREETSCAPE
Scale 1:100



3 DA/TP_STREETSCAPE SIDE B
Scale 1:100

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date	rev		amendment

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client
mirvac

project:
RIVERLANDS - MILPERRA
56 Prescot Parade, Milperra NSW 2214
stage: 01
site: 3C

title:
STREETSCAPE

job no: MB-10245
drawing no: 260

date: 05.12.2023 scale @ A1: 1 : 100 rev: G
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100mm

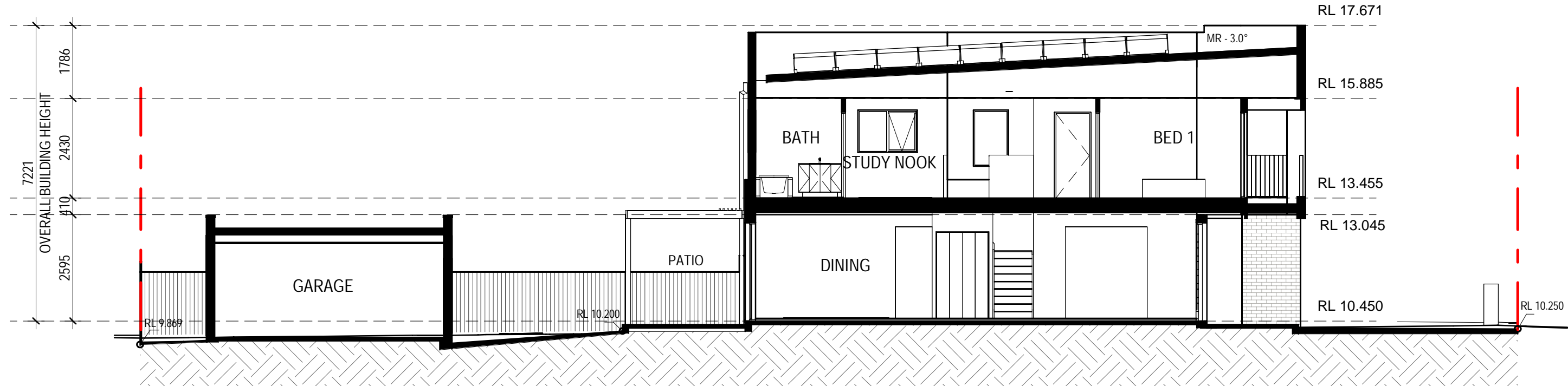
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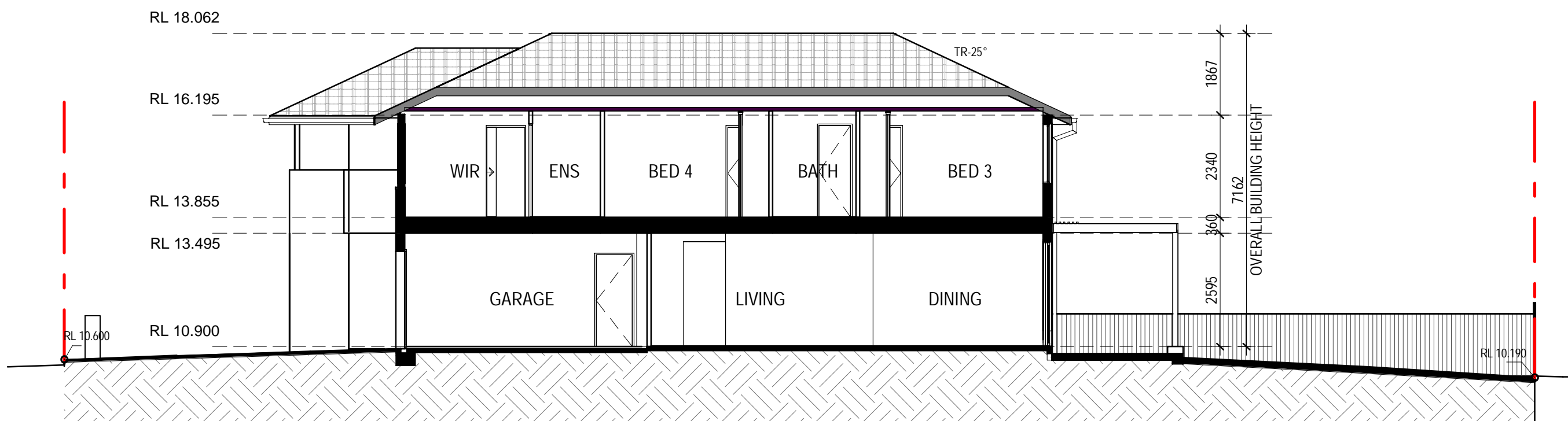
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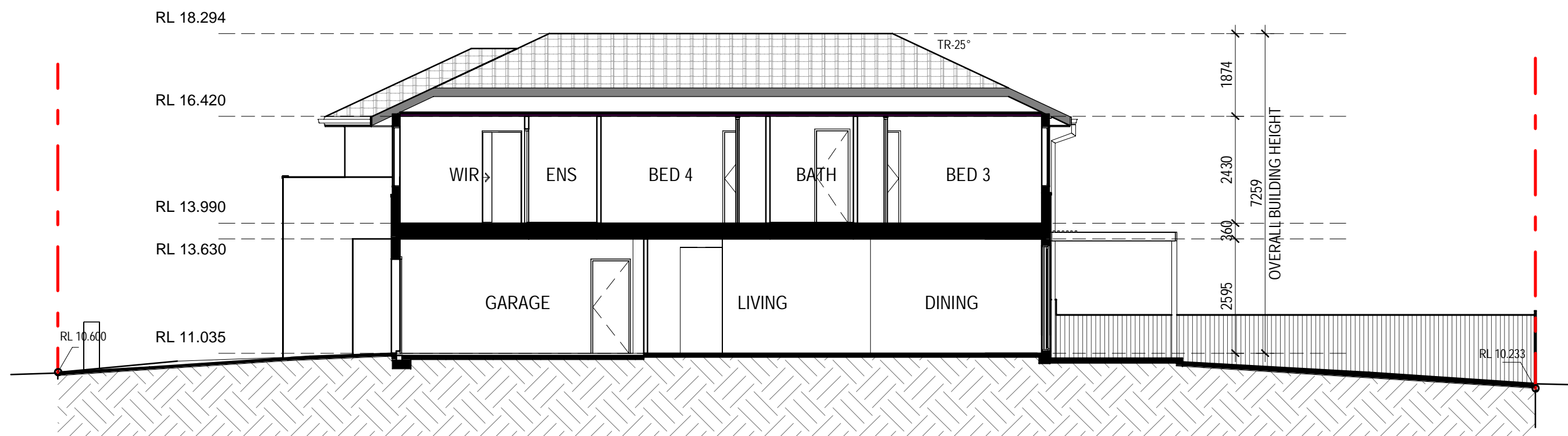
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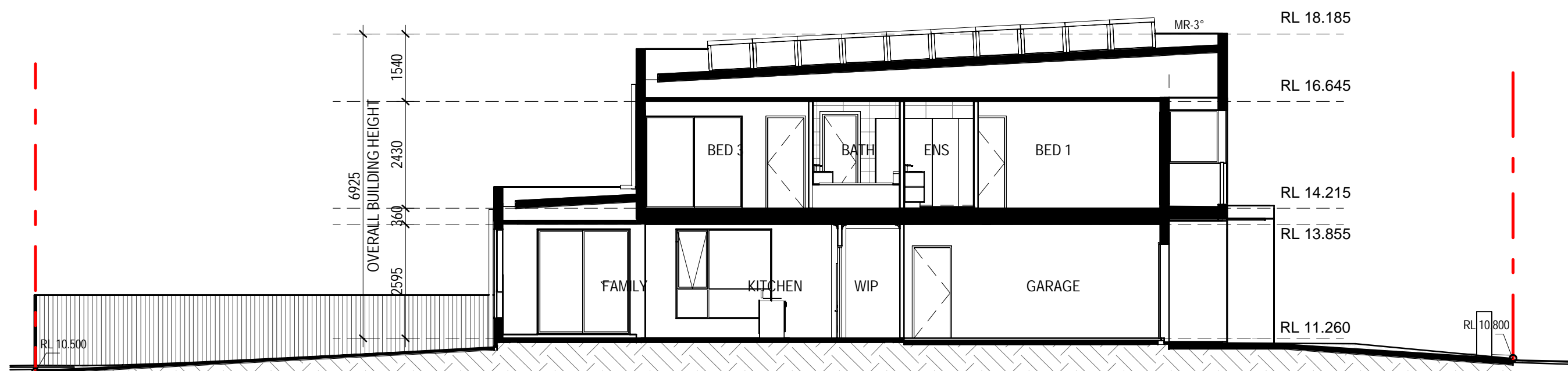
1 3-071 - SECTION
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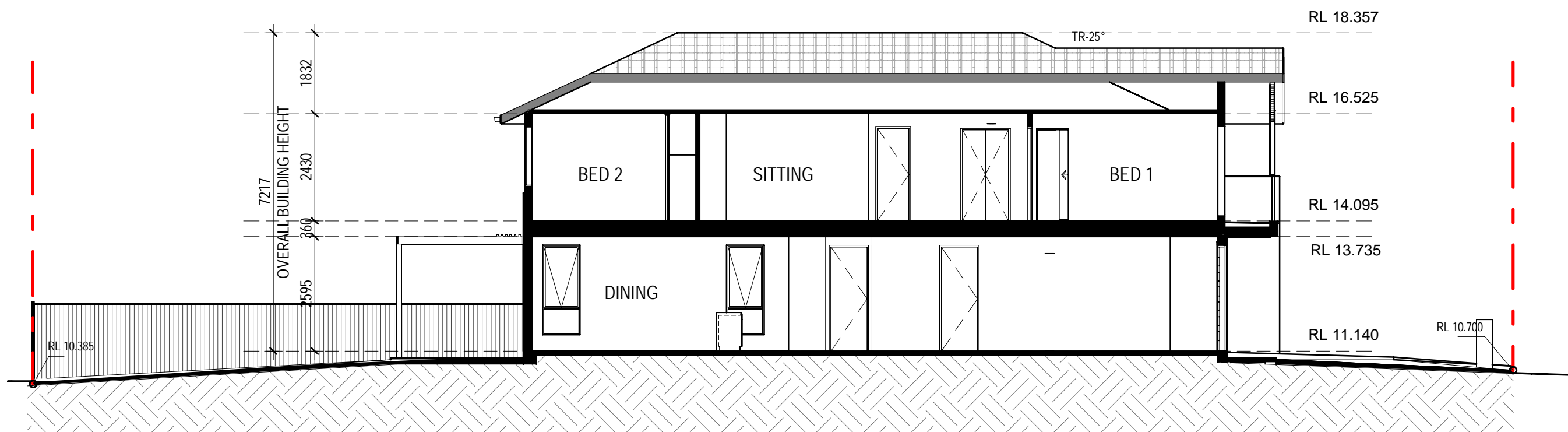
2 3-072 - SECTION
Scale 1: 100



3 3-081 - SECTION
Scale 1: 100



4 3-09 SECTION
Scale 1: 100



6 3-82 - SECTION
Scale 1: 100

ELEVATION / SECTION LEGEND	
EXTERNAL FINISHES EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
WALL TYPE & FINISH:	
FBW	FACE BRICKWORK
RBW	RENDERED BRICK WORK
RHP	RENDERED HERBEL PANEL
RBS-90	RENDERED RECESSED BRICK
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING
LWC1	COVER BATTEN CLADDING
LWC2	LIGHTWEIGHT CLADDING - VERTICAL RIB TIMBER LOOK
LWC3	LIGHTWEIGHT CLADDING - VERTICAL SEAM
LWC4	ZINC FEATURE CLADDING
LWCS	TILE FEATURE CLADDING
DS	DRESSED STONE
ABBREVIATIONS	
BAL	BALUSTRADE - 100mm HIGH MIN.
DEB	DROP EDGE BEAM TO ENGINEER'S DETAIL
DP	DOWN PIPE
DPS	DOWN PIPE & SPREADER
DP-100	DOWN PIPE 100 DIAMETER
EXHW	EXHAUST VENT TO WALL
EXHE	EXHAUST VENT TO EAVE
EXHR	EXHAUST VENT TO ROOF
FXL	FINISHED GROUND LINE
GM	GAS METER
GD	GARAGE DOOR
BAL	BALUSTRADE
IBWU	INSTANTANEOUS GAS HOT WATER UNIT
MB	METER BOX
MR	METAL ROOF - PITCH AS NOTED
NGL	NATURAL GROUND LINE
OIA FASCIA	OVERALL EAVE DIMENSION INCLUDING FASCIA
TP	TIMBER POST - SIZE AS NOTED
TP-120	TIMBER POST - 120x120mm
TR	TILED ROOF - PITCH AS NOTED
PS	PERSOLA TO DETAIL
V/J	VERTICAL JOINT
WC1	WALL MOUNTED CLOTHES LINE
PCD	PREMIER'S CONNECTION DEVICE
NBN	NATIONAL BROADBAND NETWORK

BALUSTRADE NOTES:	
INTERNAL STAIRS: BALUSTRADE HANDRAIL TO BE CONTINUOUS ON FLIGHT IN ACCORDANCE WITH BCA REQUIREMENT.	
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ABN 76 001 091 153
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client:
mirvac

project:
RIVERLANDS - MILPERRA
56 Prescott Parade, Milperra NSW 2214
stage: 01
site: 3C

title:
SECTIONS

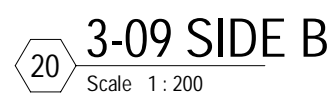
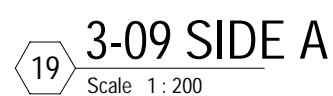
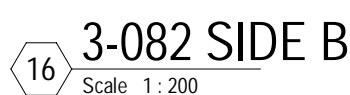
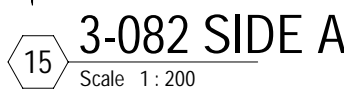
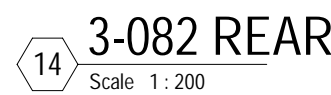
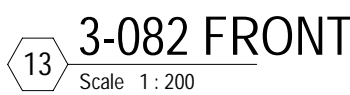
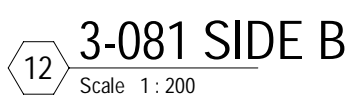
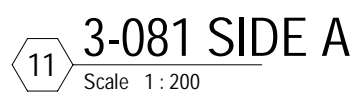
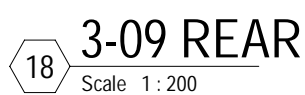
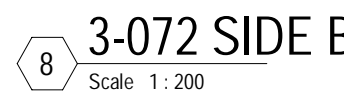
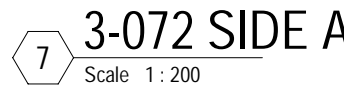
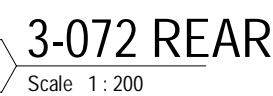
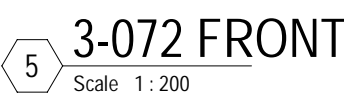
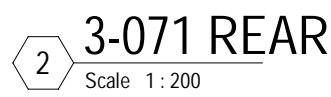
job no: MB-10245
drawing no: 270

date: 05.12.2023

scale @ A1: 1: 100

rev: G

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architecture
interior design
urban design
graphic design

Mirvac Design Pty Ltd
ABN 78 003 359 153

Mirvac Design Nominated / Responsible Architects
Anta Venna, Michael Allener, David Hirst, Poomany Srinandhir, Andrew La, Nicolas Theodoss
www.mirvacdesign.com/nominated-architects

project:
RIVERLANDS - MILPERRA
56 Prescott Parade, Milperra NSW 2214
stage: 01
site: 3C

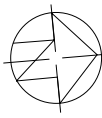
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NOTIFICATION PLANS

job no: MB-10245
drawing no: 290

date: 05.12.2023

scale @ A1: 1 : 200

rev: C.



		SOLAR COVERAGE IN PPOS									
0_Lot No	0_House Type	8am	9am	10am	11am	12pm	1pm	2pm	3pm	4pm	Solar Compliance*
3-09	221L-DF40-F1	116.6 m²	162.51 m²	166.25 m²	175.74 m²	180.18 m²	180.18 m²	180.18 m²	180.18 m²	180.18 m²	Yes
3-082	220AA-DF40-F3	11.6 m²	0.00 m²	9.90 m²	38.90 m²	63.67 m²	96.53 m²	96.53 m²	38.41 m²	31.13 m²	Yes
3-081	220AK-DF40-F2	43.0 m²	2.45 m²	63.99 m²	98.61 m²	115.82 m²	115.82 m²	115.82 m²	115.82 m²	115.82 m²	Yes
3-072	220AK-DF40-F6	43.5 m²	6.11 m²	64.18 m²	97.31 m²	115.92 m²	115.92 m²	115.92 m²	115.92 m²	115.92 m²	Yes
3-071	220AN-NG4D-F1	55.1 m²	26.13 m²	82.57 m²	107.58 m²	116.97 m²	116.97 m²	116.97 m²	116.97 m²	116.97 m²	Yes

*NOTE : CALCULATIONS OF SOLAR COVERAGE
IN ACCORDANCE WITH THE DCP MIN 3 HRS OF
50% of the POS FROM 8:00AM - 4:00PM

SHADOW LEGEND

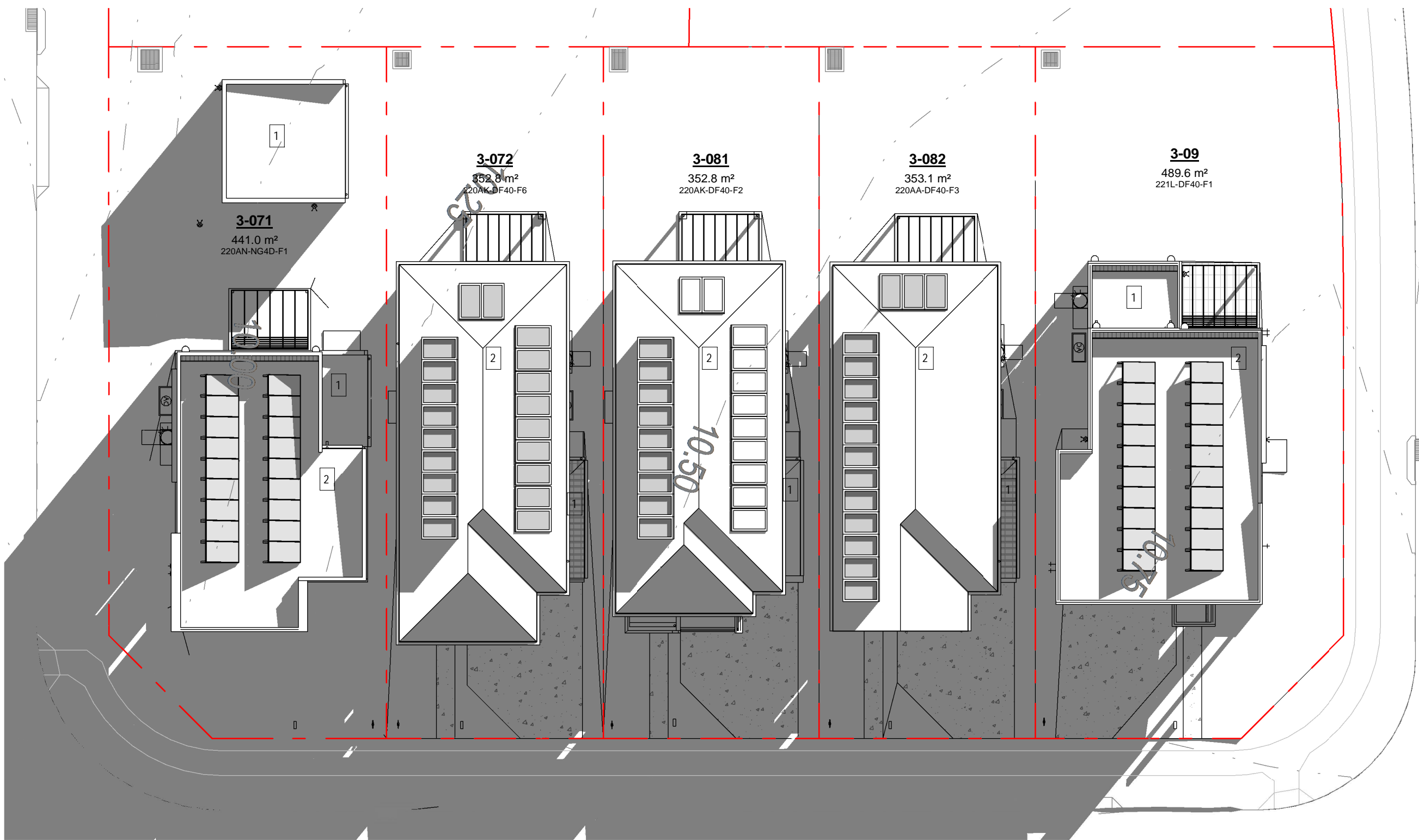
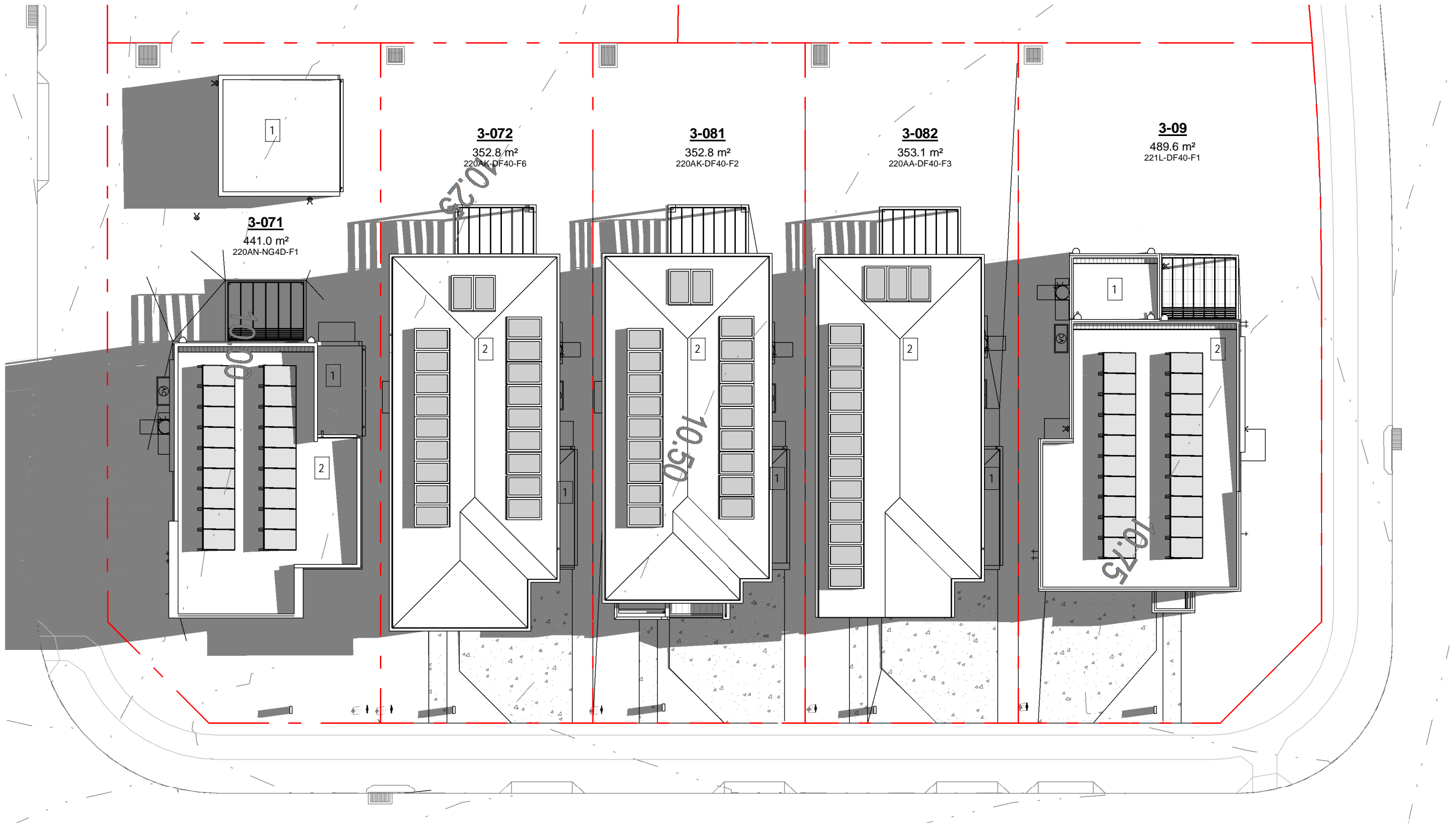
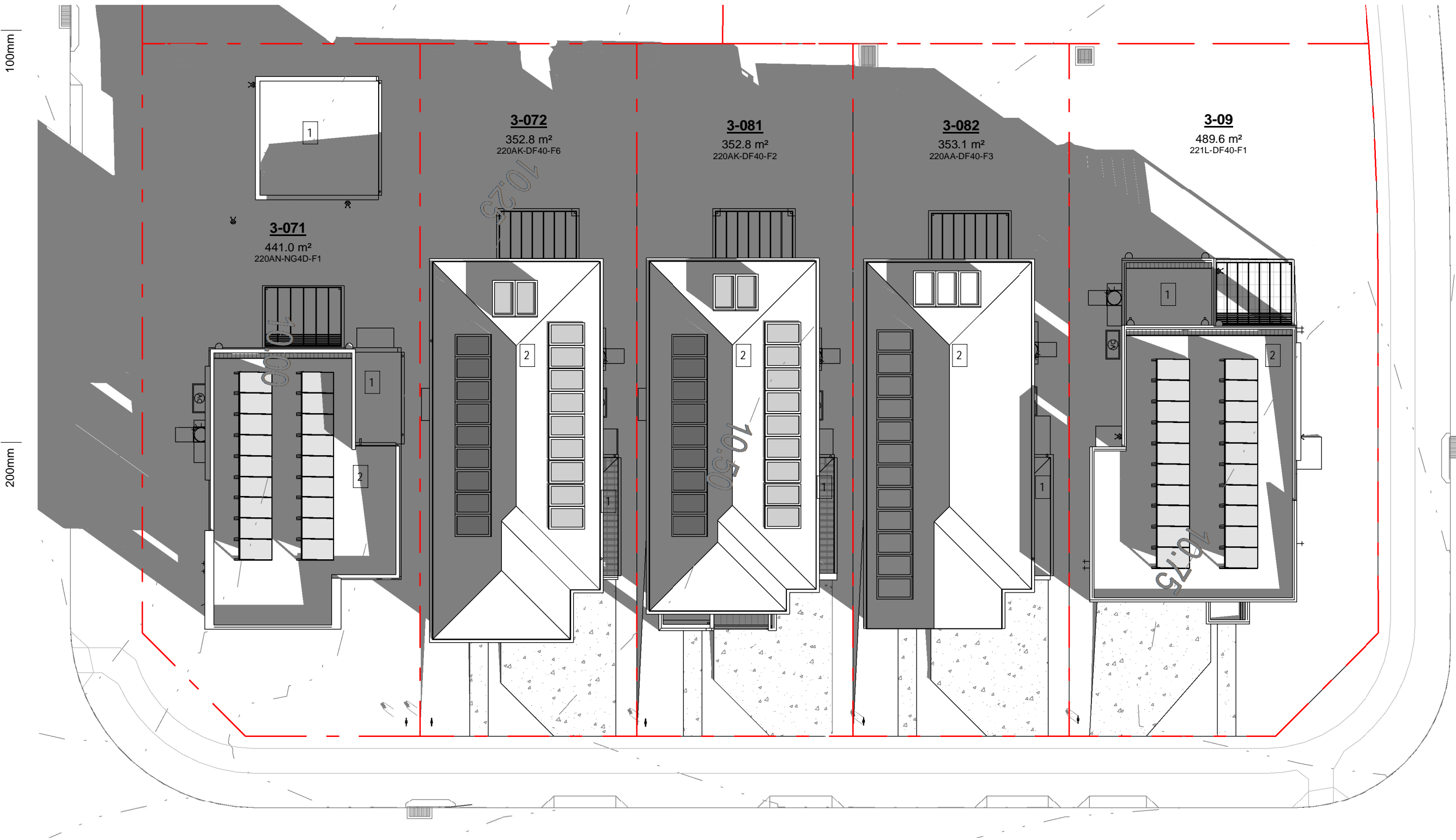
SHADOW

THREE STOREY BUILDING

TWO STOREY BUILDING

SINGLE STOREY BUILDING

SOLAR PANELS - LOCATION SHOWN INDICATIVELY



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client

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RIVERLANDS - MILPERRA
56 Prescott Parade, Milperra NSW 2214
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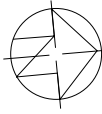
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**SHADOW PLAN 21 JUNE -
9AM/12NOON/3PM**

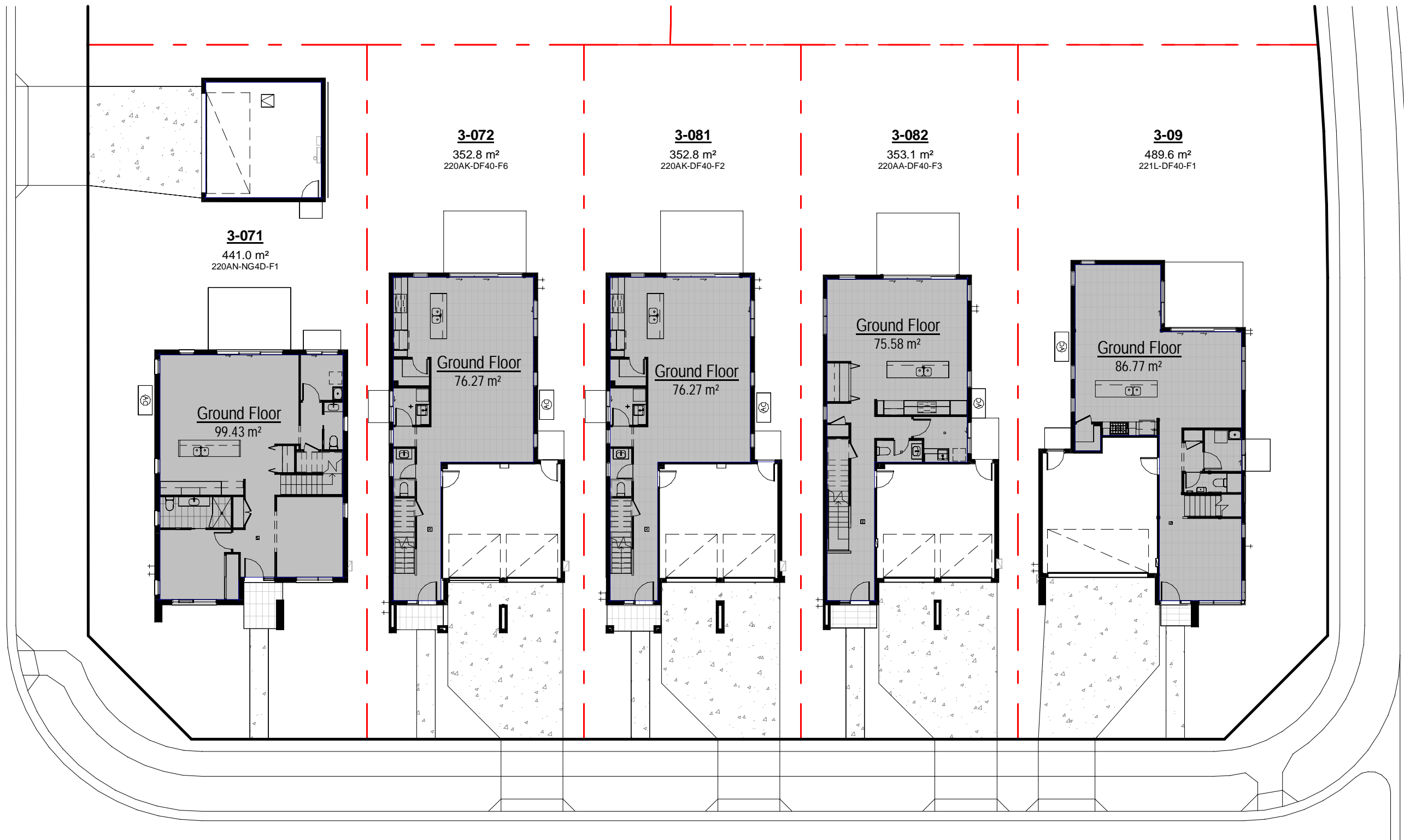
job no: MB-10245
drawing no: 400

date: 05.12.2023 scale @ A1: 1 : 200

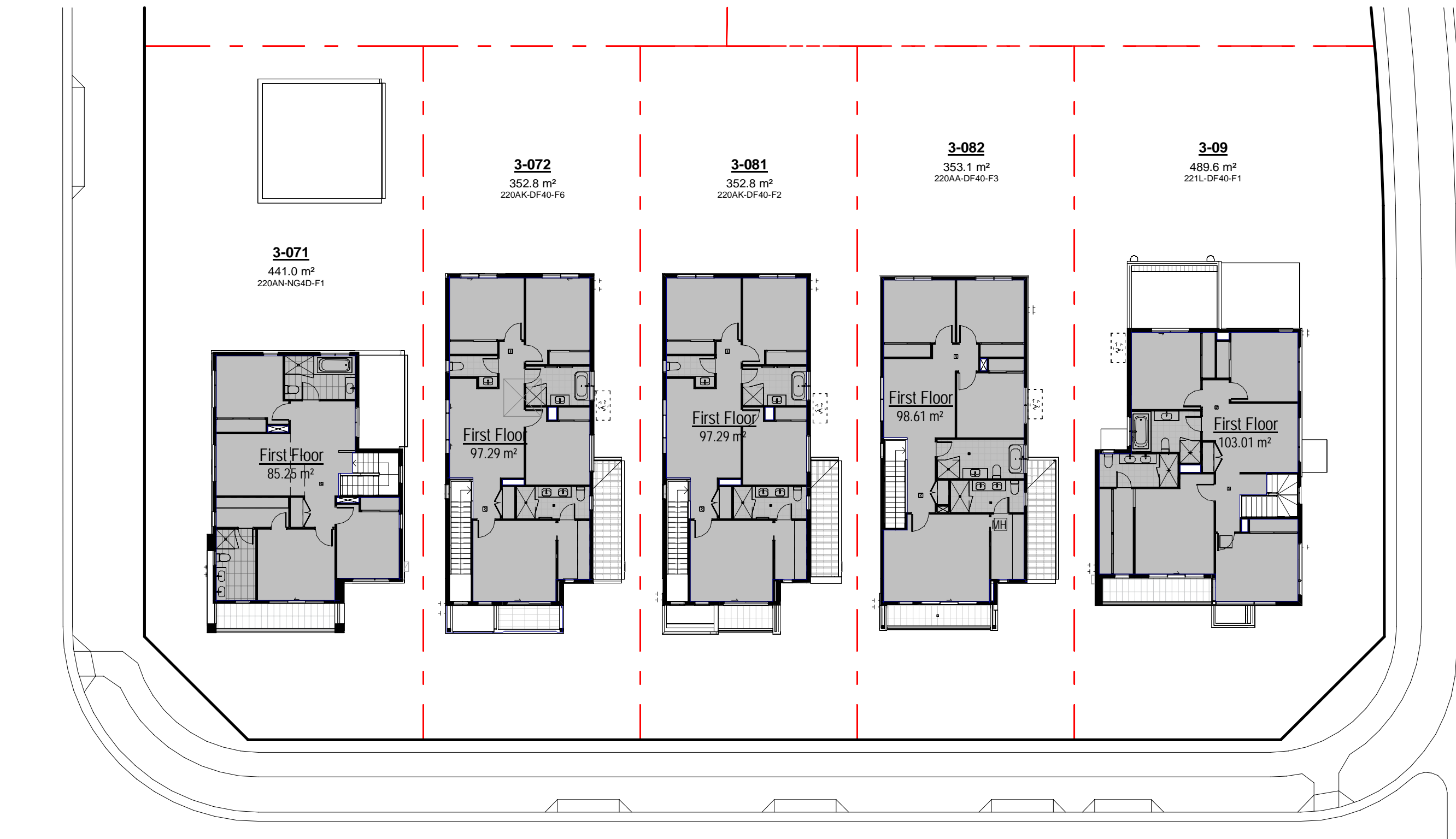
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1 GROUND FSR PLAN
Scale 1 : 200



2 FIRST FSR PLAN
Scale 1 : 200

SITE 03C FSR			
0_Lot No	Gross floor area	Actual Lot Area	FSR
3-09	189.8 m²	489.6 m²	38.76%
3-071	184.7 m²	441.0 m²	41.88%
3-072	173.6 m²	352.8 m²	49.20%
3-081	173.6 m²	352.8 m²	49.20%
3-082	174.2 m²	353.1 m²	49.33%
Total	895.8 m²	1989.3 m²	45.67 %

Site 03C - GFA schedule for FSR calc.

Lot No.	Name	Area*
3-09	Ground Floor	86.8 m²
3-09	First Floor	103.0 m²
		189.8 m²

3-071	Ground Floor	99.4 m²
3-071	First Floor	85.3 m²
		184.7 m²

3-072	Ground Floor	76.3 m²
3-072	First Floor	97.3 m²
		173.6 m²

3-081	Ground Floor	76.3 m²
3-081	First Floor	97.3 m²
		173.6 m²

3-082	Ground Floor	75.6 m²
3-082	First Floor	98.6 m²
		174.2 m²
Grand total		895.8 m²

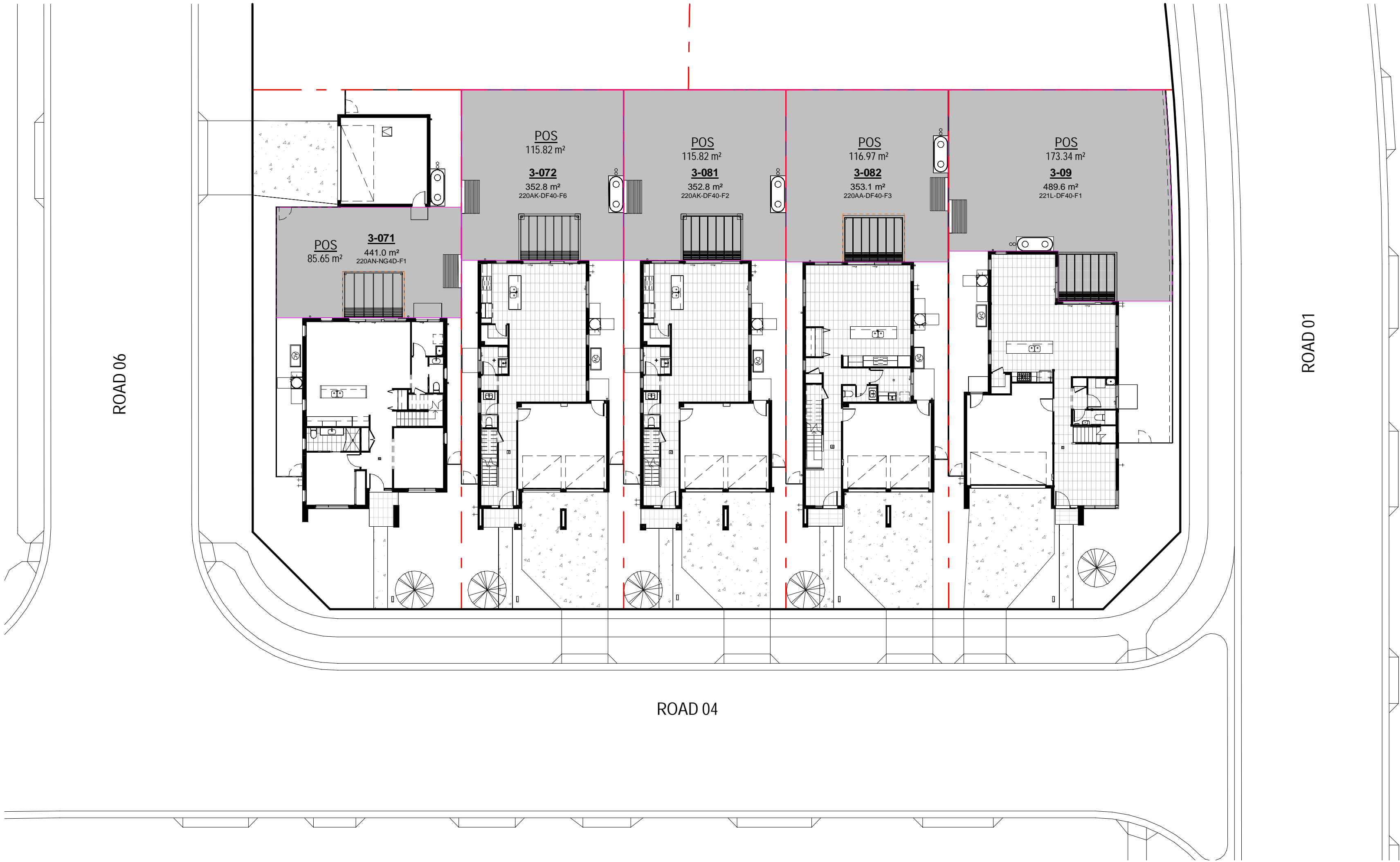
NOTE:
AREA INCLUDED IN FSR CALCULATIONS IS
SHOWN AS GREY SHADING
ON SHEET 420 FSR AREA PLANS

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SITE 3C- FRONT LANDSCAPED AREA SCHEDULE			
Lot Number	Frontyard Area	Landscaped Frontyard Area	Landscaped Frontyard (min 45%)
3-09	109.57 m²	66.29 m²	60.50%
3-071	85.38 m²	80.58 m²	94.37%
3-072	74.73 m²	31.58 m²	42.26%
3-081	74.75 m²	31.03 m²	41.51%
3-082	75.72 m²	31.76 m²	41.94%

SITE 3C - LANDSCAPED AREA SCHEDULE				
Lot Number	Lot_Area	Soft Landscape Area	Landscaped Area Provided (%)	Complies
3-09	489.60 m²	296.06 m²	60.47%	Yes
3-071	441.00 m²	209.75 m²	47.56%	Yes
3-072	352.80 m²	171.62 m²	48.65%	Yes
3-081	352.80 m²	171.24 m²	48.54%	Yes
3-082	353.10 m²	173.22 m²	49.06%	Yes

Site 3C - POS (min 80m2)	
Lot No.	Area
3-09	173.34 m²
3-071	85.65 m²
3-072	115.82 m²
3-081	115.82 m²
3-082	116.97 m²



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project:
RIVERLANDS - MILPERRA
56 Prescot Parade, Milperra NSW 2214
stage: 01
site: 3C

title:
**PRIVATE OPEN SPACE AND
PERMEABLE AREA PLAN**

0mm

100mm

200mm

300mm

100mm

200mm

300mm

LOT - 3-09 (THERMAL PERFORMANCE)

Construction General

Floors
Waffle pod slab 85mm concrete and 300mm waffle pods
Timber frame between levels, with an R4.0 insulation lined between garage and habitable rooms
Suspended timber frame, with an R6.0 insulation lined below

External Walls
75mm Hebel panel 35mm air gap sarking, R2.5 insulation (insulation only value) and plasterboard lined
50mm Hebel panel 35mm air gap sarking, R2.5 insulation (insulation only value) and plasterboard lined
Brick veneer with an R2.5 insulation (insulation only value)
Lightweight cladding 20mm air gap sarking, R2.5 insulation (insulation only value) and plasterboard lined.
Note: No insulation is required to external garage walls
External Colour:
Default light colour modelled.

Walls within dwellings
Plasterboard on studs, no insulation required.
R2.5 insulation to walls between garage and habitable rooms only.
R2.5 insulation to walls adjacent to roof space

Glazing Doors/Windows
Window upgrade 2: SEM double-glazed, single low-e
Awning: U 2.9 and SHGC 0.35
Fixed: U 2.0 and SHGC 0.44
Sliding door: U 2.8 and SHGC 0.39

Window frame colour
Dark (SA > 0.7)

Roof and Ceilings
Tile roof with sarking
Metal roof with Builder blanket (R1.3 up and R1.3 down)
R4.0 ceiling insulation and plasterboard lining

External Colour
3-09 Light(SA< 0.475)

Ceiling Penetrations
Sealed and insulated LED downlights as per lighting plan
Sealed and insulated exhaust fans as per plans

Floor coverings
As per plans

External Shading
Shading as per stamped drawings

Ventilation
All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights proposed will have capped fittings
1200mm ceiling fans to all bedrooms
1400mm ceiling fans to all living areas

BASIX – commitments

Site details
- Lot number – 3-09
- Site area refer to Site Plan 100
- Landscaping area refer to Site Plan 100

Water Fixtures
- 4 star showers mid flow (>6.0 but <= 7.5 liters/min) -
- 4 star toilets
- 5 star taps
Harvested roof areas 70%
Rainwater tank
- 2000L connected to garden, toilets, and laundry

Energy
Hot Water System
- Electric heat pump – 21 to 25 STCs

Heating & Cooling
- Three phase AC
- EER 3.0 cooling
- EER 3.5 heating

Ventilation
- Bathroom exhaust – individual fan, ducted to façade or roof
- Kitchen exhaust – Individual fan, ducted to façade or roof
- Laundry exhaust – Individual fan, ducted to façade or roof

Lighting
- LED lighting throughout

Other
- Electric cooktop & electric oven
- Outdoor clothes drying line.
- Fridge Space – not well-ventilated

Alternative energy
- 2.0kW peak system per house

LOT - 3-082 (THERMAL PERFORMANCE)

Construction General

Floors
Waffle pod slab 85mm concrete and 300mm waffle pods
Timber frame between levels, with an R6.0 insulation lined between garage and habitable rooms
Suspended timber frame, with an R6.0 insulation lined below

External Walls
75mm Hebel panel 35mm air gap sarking, R2.7 insulation (insulation only value) and plasterboard lined
50mm Hebel panel 35mm air gap sarking, R2.7 insulation (insulation only value) and plasterboard lined
Brick veneer with an R2.7 insulation (insulation only value)
Lightweight cladding 20mm air gap sarking, R2.7 insulation (insulation only value) and plasterboard lined.
Note: No insulation is required to external garage walls
External Colour:
Default light colour modelled.

Walls within dwellings
Plasterboard on studs, no insulation required.
R2.7 insulation to walls between conditioned and unconditioned zones.
R2.7 insulation to walls adjacent to roof space

Glazing Doors/Windows
Window upgrade 2: SEM double-glazed, single low-e
Awning: U 2.9 and SHGC 0.35
Fixed: U 2.0 and SHGC 0.44
Sliding door: U 2.8 and SHGC 0.39

Window frame colour
Dark (SA > 0.7)

Roof and Ceilings
Tile roof with sarking
Metal roof with Builder blanket (R1.3 up and R1.3 down)
R6.0 ceiling insulation and plasterboard lining (R4.0 allowed for perimeter batts)

External Colour
3-082 Dark (SA > 0.7)

Ceiling Penetrations
Sealed and insulated LED downlights as per lighting plan
Sealed and insulated exhaust fans as per plans

Floor coverings
As per plans

External Shading
Shading as per stamped drawings

Ventilation
All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights proposed will have capped fittings
1200mm ceiling fans to all bedrooms
1400mm ceiling fans to all living areas

BASIX – commitments

Site details
- Lot number – 3-082
- Site area refer to Site Plan 100
- Landscaping area refer to Site Plan 100

Water Fixtures
- 4 star showers mid flow (>6.0 but <= 7.5 liters/min) -
- 4 star toilets
- 5 star taps
Harvested roof areas 70%
Rainwater tank
- 2000L connected to garden, toilets, and laundry

Energy
Hot Water System
- Electric heat pump – 21 to 25 STCs

Heating & Cooling
- Three phase AC
- EER 3.0 cooling
- EER 3.5 heating

Ventilation
- Bathroom exhaust – individual fan, ducted to façade or roof
- Kitchen exhaust – Individual fan, ducted to façade or roof
- Laundry exhaust – Individual fan, ducted to façade or roof

Lighting
- LED lighting throughout

Other
- Electric cooktop & electric oven
- Outdoor clothes drying line.
- Fridge Space – not well-ventilated

Alternative energy
- 2.0kW peak system per house

LOTS - 3-081 (THERMAL PERFORMANCE)

Construction General

Floors
Waffle pod slab 85mm concrete and 300mm waffle pods
Timber frame between levels, with an R6.0 insulation lined between garage and habitable rooms
Suspended timber frame, with an R6.0 insulation lined below

External Walls
75mm Hebel panel 35mm air gap sarking, R2.7 insulation (insulation only value) and plasterboard lined
50mm Hebel panel 35mm air gap sarking, R2.7 insulation (insulation only value) and plasterboard lined
Brick veneer with an R2.7 insulation (insulation only value)
Lightweight cladding 20mm air gap sarking, R2.7 insulation (insulation only value) and plasterboard lined.
Note: No insulation is required to external garage walls
External Colour:
3-081-Medium (SA > 0.475-0.7)

Walls within dwellings
Plasterboard on studs, no insulation required.
R2.7 insulation to walls between conditioned and unconditioned zones.
R2.7 insulation to walls adjacent to roof space

Glazing Doors/Windows
Window upgrade 2: SEM double-glazed, single low-e
Awning: U 2.9 and SHGC 0.35
Fixed: U 2.0 and SHGC 0.44
Sliding door: U 2.8 and SHGC 0.39

Window frame colour
Dark (SA > 0.7)

Roof and Ceilings
Tile roof with sarking
R6.0 ceiling insulation and plasterboard lining (R4.0 allowed for perimeter batts)

External Colour
Dark (SA > 0.7)

Ceiling Penetrations
Sealed and insulated LED downlights as per lighting plan
Sealed and insulated exhaust fans as per plans

Floor coverings
As per plans

External Shading
Shading as per stamped drawings

Ventilation
All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights proposed will have capped fittings
No ceiling fans required

BASIX – commitments

Site details
- Lot number – 3-081
- Site area refer to Site Plan 100
- Landscaping area refer to Site Plan 100

Water Fixtures
- 4 star showers mid flow (>6.0 but <= 7.5 liters/min) -
- 4 star toilets
- 5 star taps

Harvested roof areas 70%
Rainwater tank
- 2000L connected to garden, toilets, and laundry

Energy
Hot Water System
- Electric heat pump – 21 to 25 STCs

Heating & Cooling
- Three phase AC
- EER 3.0 cooling
- EER 3.5 heating

Ventilation
- Bathroom exhaust – individual fan, ducted to façade or roof
- Kitchen exhaust – Individual fan, ducted to façade or roof
- Laundry exhaust – Individual fan, ducted to façade or roof

Lighting
- LED lighting throughout

Other
- Electric cooktop & electric oven
- Outdoor clothes drying line.
- Fridge Space – not well-ventilated

Alternative energy
- 2.0kW peak system per house

LOTS - 3-072 (THERMAL PERFORMANCE)

Construction General

Floors
Waffle pod slab 85mm concrete and 300mm waffle pods
Timber frame between levels, with an R6.0 insulation lined between garage and habitable rooms
Suspended timber frame, with an R6.0 insulation lined below

External Walls
75mm Hebel panel 35mm air gap sarking, R2.7 insulation (insulation only value) and plasterboard lined
50mm Hebel panel 35mm air gap sarking, R2.7 insulation (insulation only value) and plasterboard lined
Brick veneer with an R2.7 insulation (insulation only value)
Lightweight cladding 20mm air gap sarking, R2.7 insulation (insulation only value) and plasterboard lined.
Note: No insulation is required to external garage walls
External Colour:
3-072-Light (SA > 0.475)

Walls within dwellings
Plasterboard on studs, no insulation required.
R2.7 insulation to walls between conditioned and unconditioned zones.
R2.7 insulation to walls adjacent to roof space

Glazing Doors/Windows
Window upgrade 2: SEM double-glazed, single low-e
Awning: U 2.9 and SHGC 0.35
Fixed: U 2.0 and SHGC 0.44
Sliding door: U 2.8 and SHGC 0.39

Window frame colour
Dark (SA > 0.7)

Roof and Ceilings
Tile roof with sarking
R6.0 ceiling insulation and plasterboard lining (R4.0 allowed for perimeter batts)

External Colour
Dark (SA > 0.7)

Ceiling Penetrations
Sealed and insulated LED downlights as per lighting plan
Sealed and insulated exhaust fans as per plans

Floor coverings
As per plans

External Shading
Shading as per stamped drawings

Ventilation
All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights proposed will have capped fittings
No ceiling fans required

BASIX – commitments

Site details
- Lot number – 3-072
- Site area refer to Site Plan 100
- Landscaping area refer to Site Plan 100

Water Fixtures
- 4 star showers mid flow (>6.0 but <= 7.5 liters/min) -
- 4 star toilets
- 5 star taps

Harvested roof areas 70%
Rainwater tank
- 2000L connected to garden, toilets, and laundry

Energy
Hot Water System
- Electric heat pump – 21 to 25 STCs

Heating & Cooling
- Three phase AC
- EER 3.0 cooling
- EER 3.5 heating

Ventilation
- Bathroom exhaust – individual fan, ducted to façade or roof
- Kitchen exhaust – Individual fan, ducted to façade or roof
- Laundry exhaust – Individual fan, ducted to façade or roof

Lighting
- LED lighting throughout

Other
- Electric cooktop & electric oven
- Outdoor clothes drying line.
- Fridge Space – not well-ventilated

Alternative energy
- 2.0kW peak system per house

LOTS - 3-071 (THERMAL PERFORMANCE)

Construction General

Floors
Waffle pod slab 85mm concrete and 300mm waffle pods
Timber frame between levels, no insulation required between conditioned areas.
Suspended timber frame, with an R6.0 insulation lined below.

External Walls
75mm Hebel panel 35mm air gap sarking, R2.5 insulation (insulation only value) and plasterboard lined
50mm Hebel panel 35mm air gap sarking, R2.5 insulation (insulation only value) and plasterboard lined
Brick veneer with an R2.5 insulation (insulation only value)
Lightweight cladding 20mm air gap sarking, R2.5 insulation (insulation only value) and plasterboard lined.
Note: No insulation is required to external garage walls
External Colour:
Dark (SA > 0.7)

Walls within dwellings
Plasterboard on studs, no insulation required.
R2.5 insulation to walls adjacent to roof space

Glazing Doors/Windows
Window upgrade 2: SEM double-glazed, single low-e
Awning: U 2.9 and SHGC 0.35
Fixed: U 2.0 and SHGC 0.44
Sliding door: U 2.8 and SHGC 0.39

Window frame colour
Dark (SA > 0.7)

Roof and Ceilings
Metal roof builders blanket (R1.3 up and R1.3 down)
R4.0 ceiling insulation and plasterboard lining

External Colour
Light (SA < 0.475)

Ceiling Penetrations
Sealed and insulated LED downlights as per lighting plan
Sealed and insulated exhaust fans as per plans

Floor coverings
As per plans

External Shading
Shading as per stamped drawings

Ventilation
All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights proposed will have capped fittings
1x 1200mm ceiling fans to bedrooms only

BASIX – commitments

Site details
- Lot number – 3-071
- Site area refer to Site Plan 100
- Landscaping area refer to Site Plan 100

Water Fixtures
- 4 star showers mid flow (>6.0 but <= 7.5 liters/min) -
- 4 star toilets
- 5 star taps

Harvested roof areas 70%
Rainwater tank
- 2000L connected to garden, toilets, and laundry

Energy
Hot Water System
- Electric heat pump – 21 to 25 STCs

Heating & Cooling
- Three phase AC
- EER 3.0 cooling
- EER 3.5 heating

Ventilation
- Bathroom exhaust – individual fan, ducted to façade or roof
- Kitchen exhaust – Individual fan, ducted to façade or roof
- Laundry exhaust – Individual fan, ducted to façade or roof

Lighting
- LED lighting throughout

Other
- Electric cooktop & electric oven
- Outdoor clothes drying line.
- Fridge Space – not well-ventilated

Alternative energy
- 2.0kW peak system per house

05.12.2023
date

A
rev

ISSUE FOR DEVELOPMENT APPLICATION

amendment

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client:



project:

RIVERLANDS - MILPERRA

56 Prescott Parade, Milperra NSW 2214

stage: 01

site: 3C

title:

BASIX REQUIREMENTS

job no: MB-10245

drawing no: 720

date: 05.12.2023

scale @ A1:

rev: A

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100mm

200mm

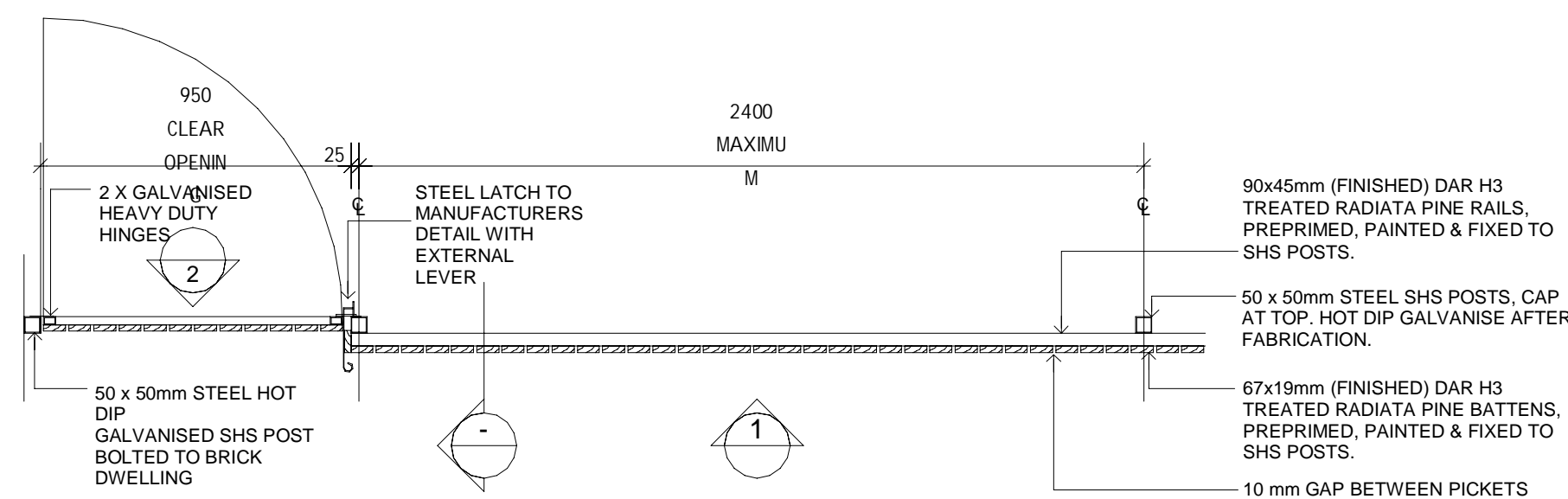
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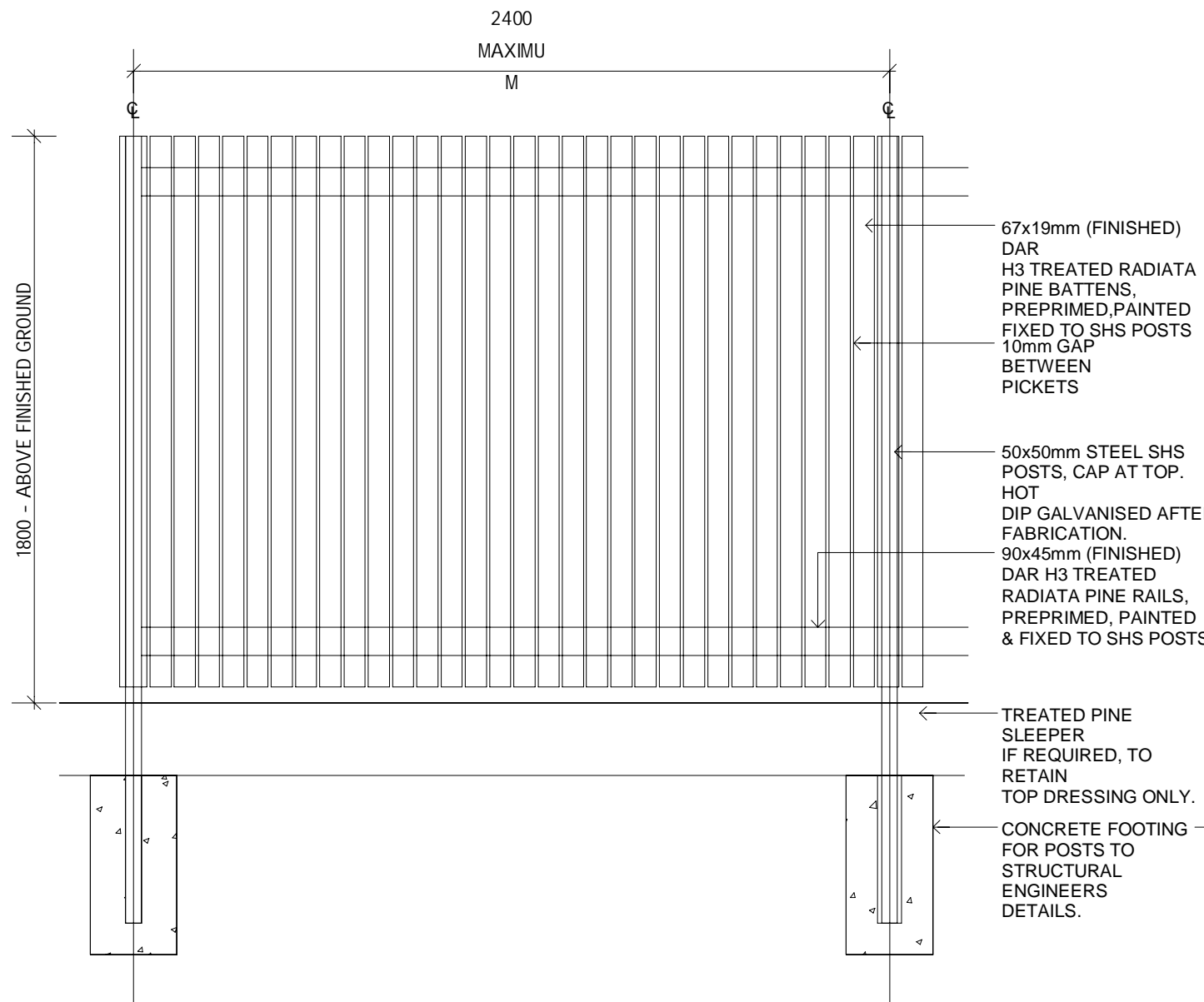
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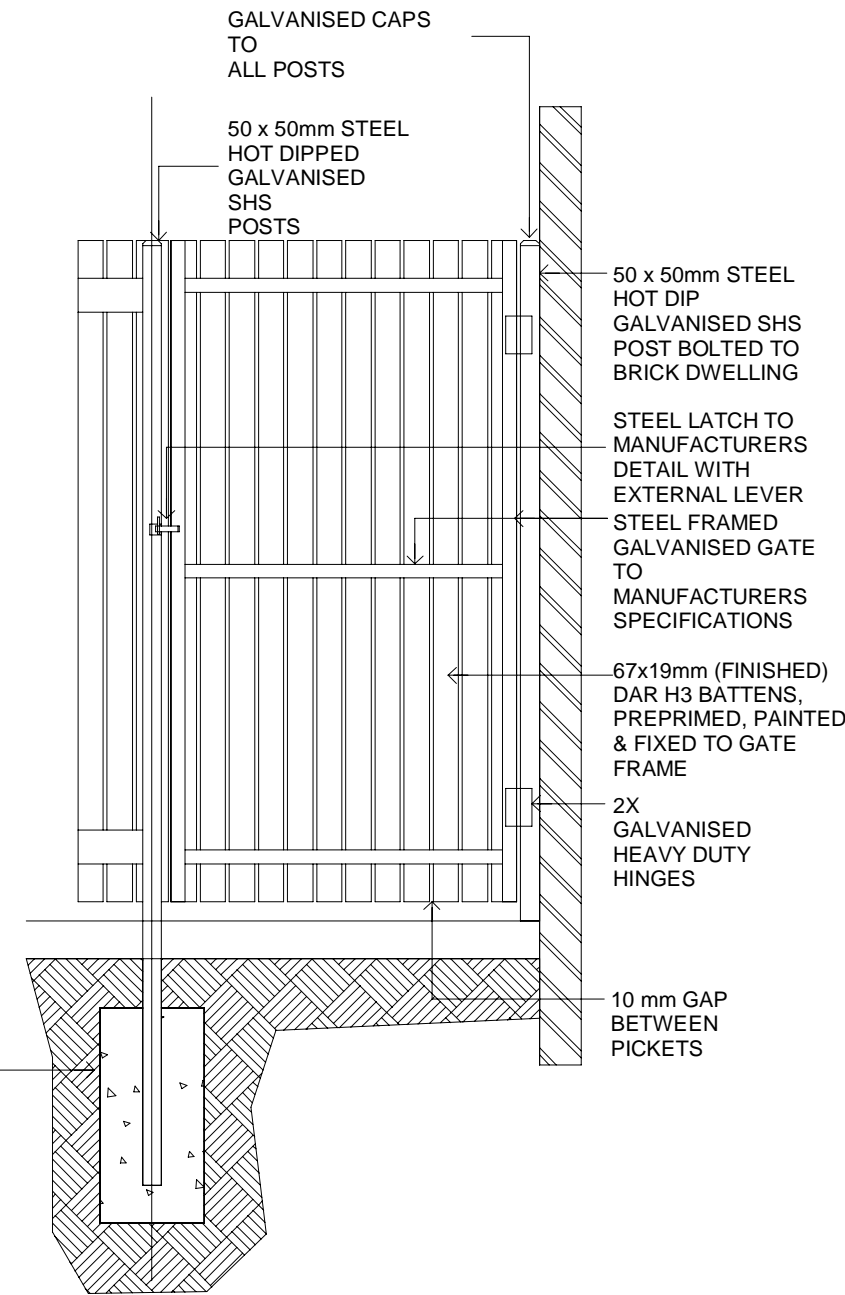
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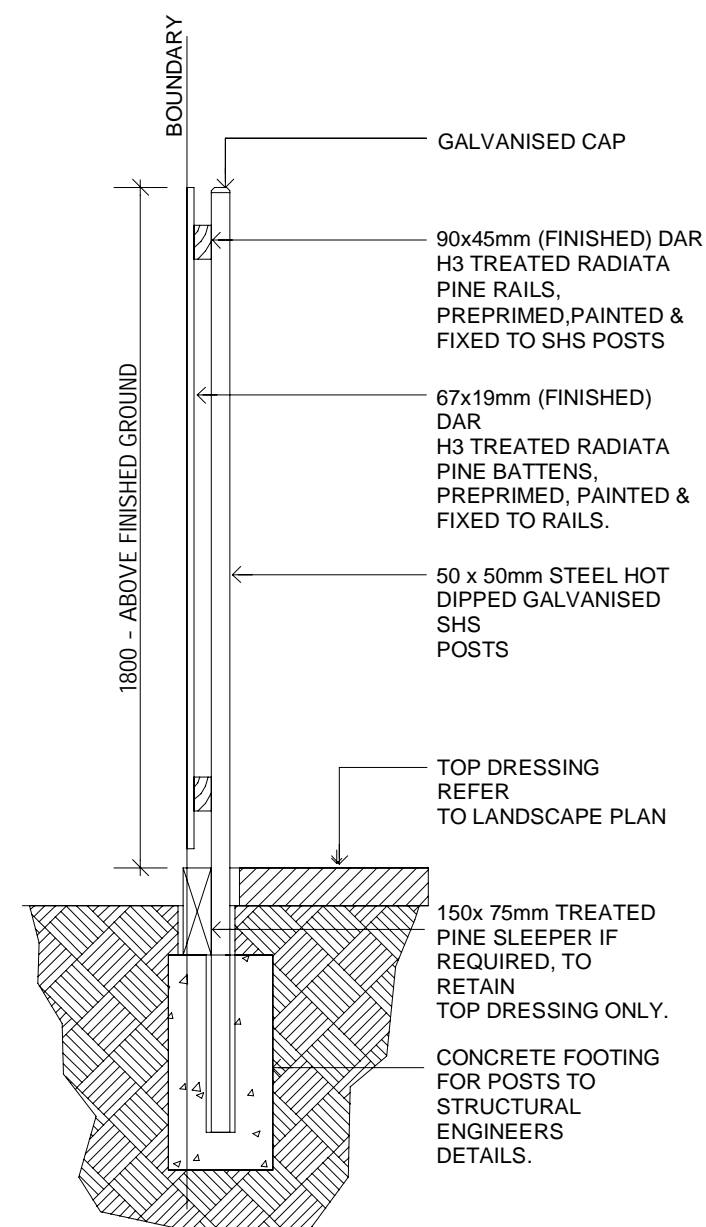
1 VERTICAL TIMBER BATTEN FENCE DETAILS
PLAN
SCALE 1:10



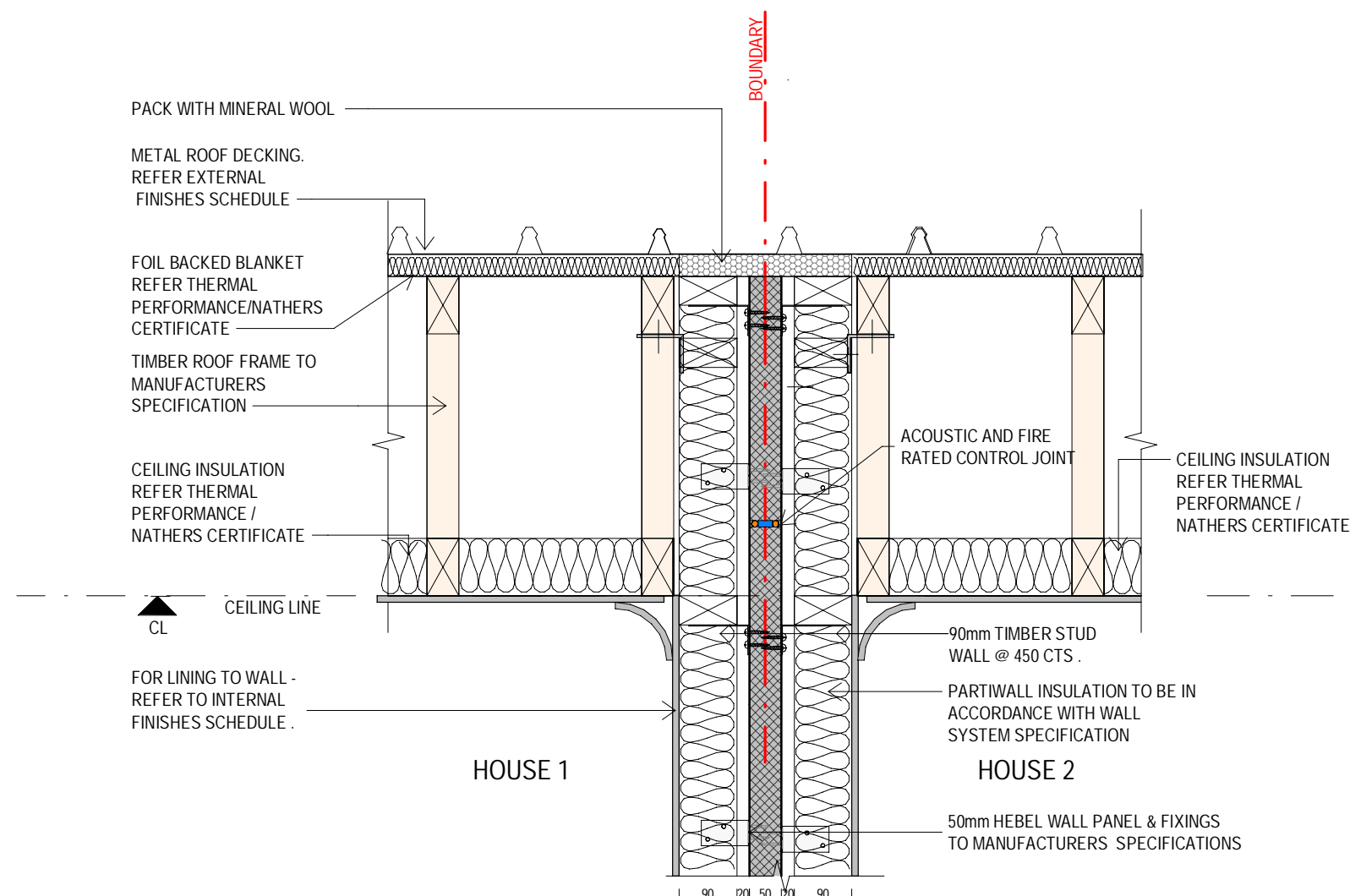
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ELEVATION 1
SCALE 1:10



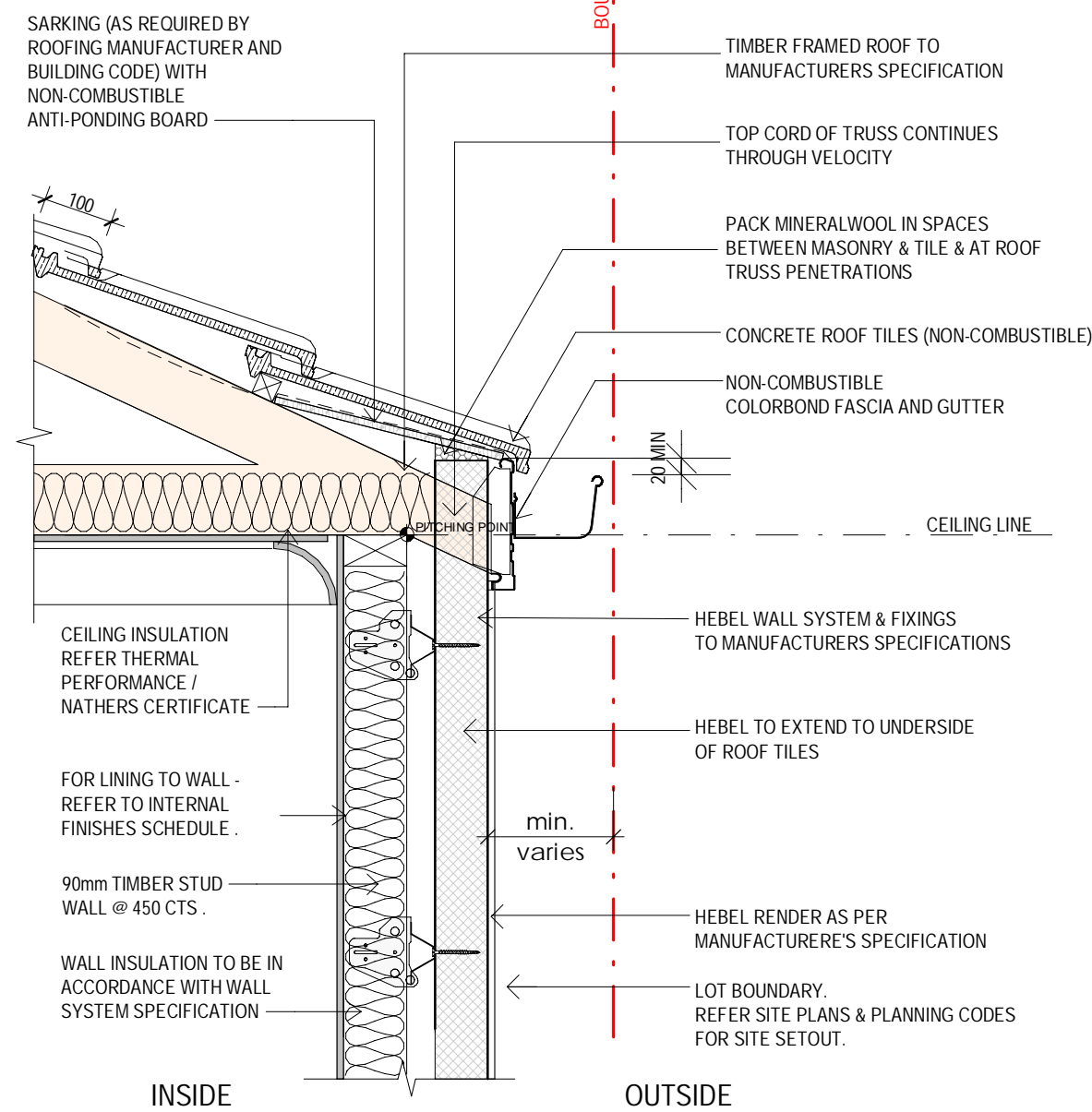
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ELEVATION 2
SCALE 1:10



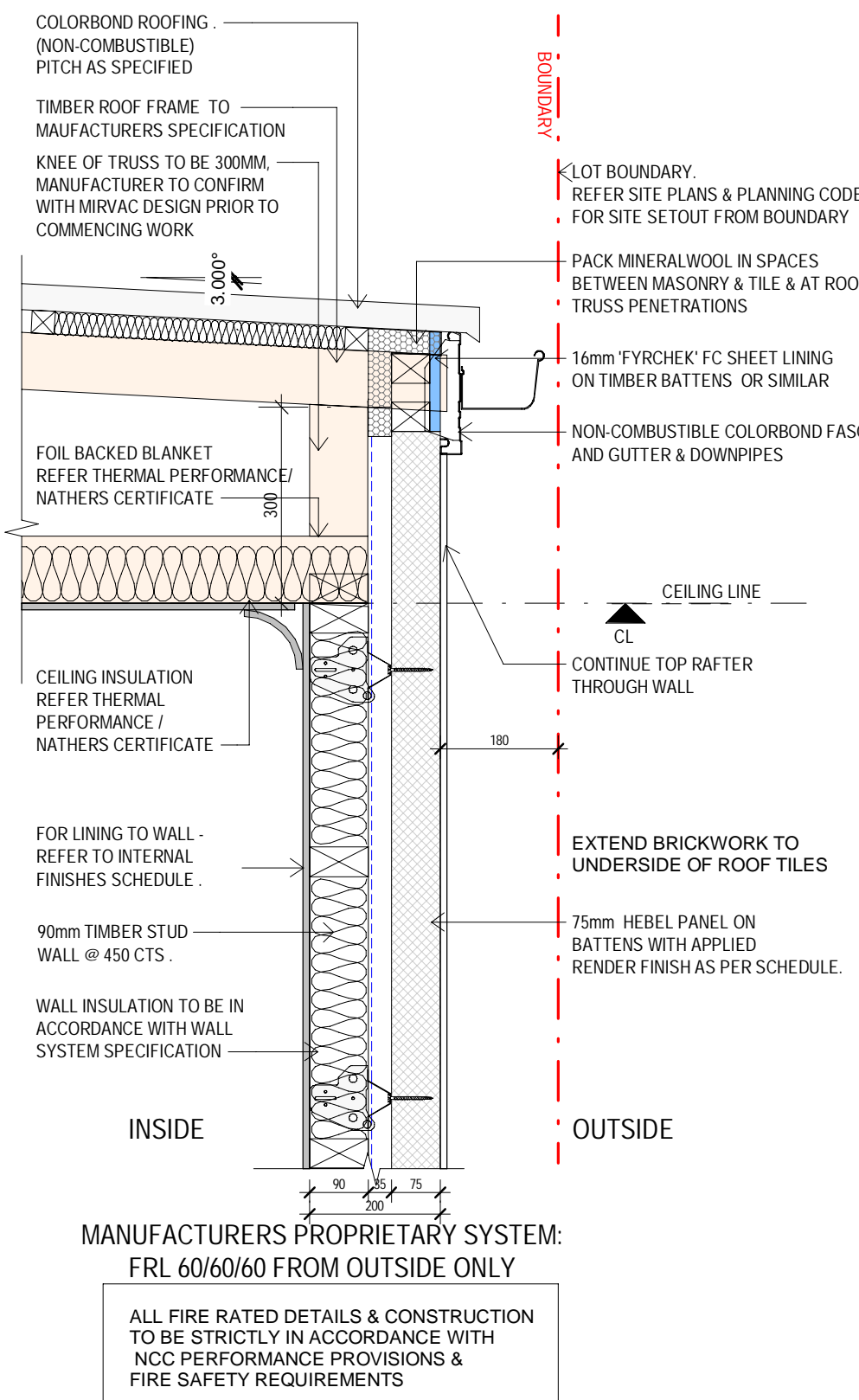
4 VERTICAL TIMBER BATTEN FENCE DETAILS
SECTION
SCALE 1:10



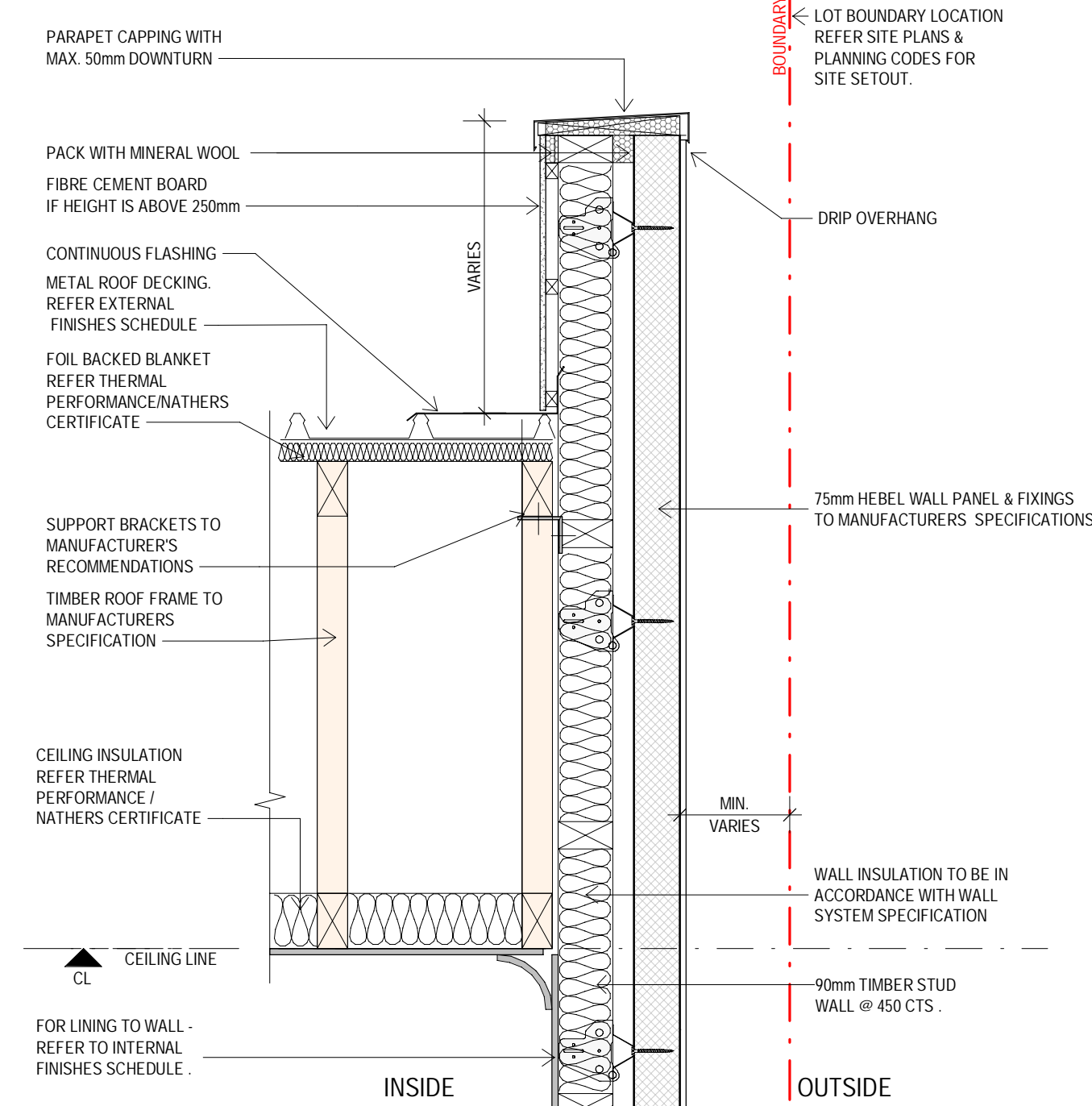
5 HEBEL PARTY WALL TO ROOF
1:10



6 FIRE RATED EAVES DETAIL WITH ZERO EAVES - TILED ROOF
1:10



7 FIRE RATED EAVES DETAIL WITH ZERO EAVES- METAL ROOF
1:10



8 HEBEL PARAPET
1:10

05.12.2023
date

A
rev

ISSUE FOR DEVELOPMENT APPLICATION

amendment

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client:



project:

RIVERLANDS - MILPERRA

56 Prescott Parade, Milperra NSW 2214

stage: 01

site: 3C

title:

TYPICAL DETAILS

job no: MB-10245

drawing no: 800

date: 05.12.2023

scale @ A1: As indicated

rev: A

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